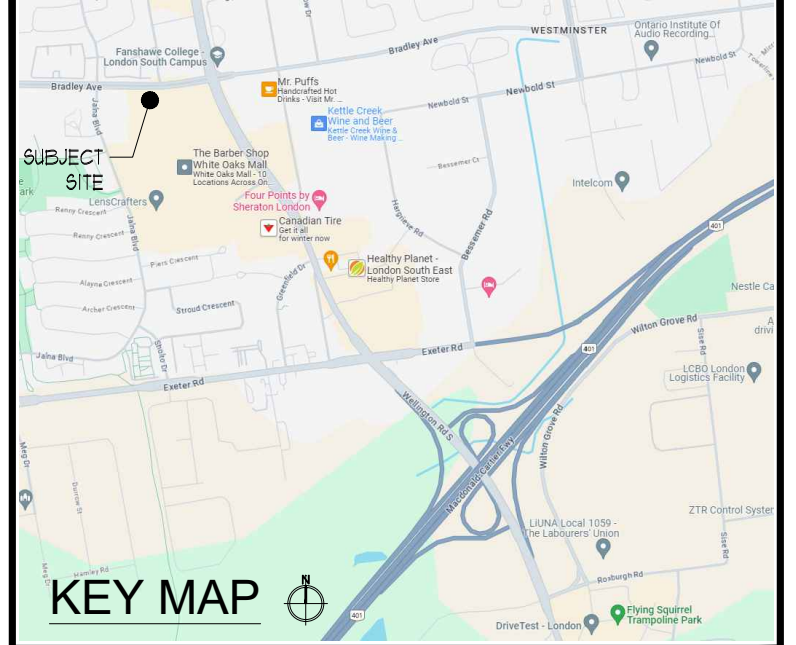
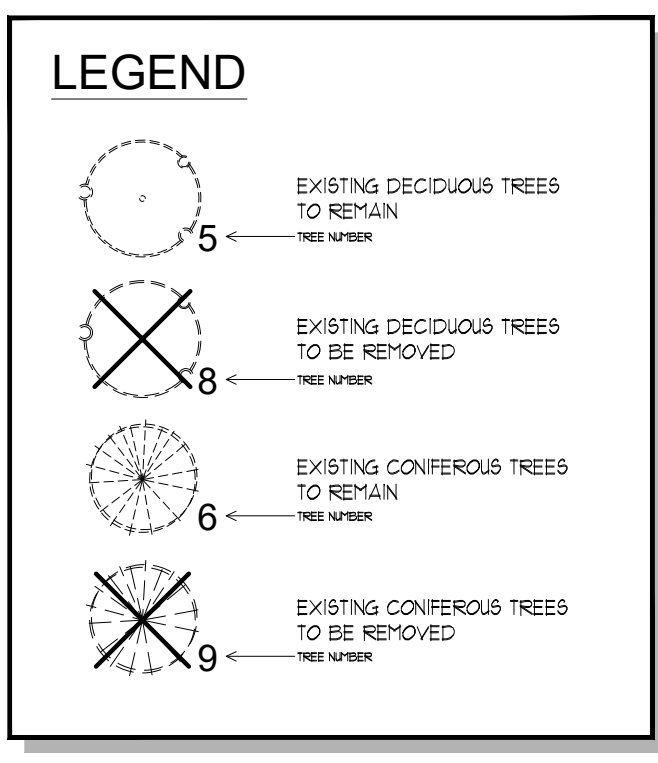


TREES TO BE REMOVED (14)

ID #	BOTANICAL NAME	COMMON NAME	LOCATION	SIZE (DBH (cm))	HEALTH & CONDITION	COMMENTS	EXPECTED CONSTRUCTION IMPACT	RECOMMENDATIONS	NOTES		
1	<i>Picea purpura</i>	Colorado Spruce	Subject Site	28	2.5	3	Fair	significant lean east	conflict with proposed construction and tree condition	remove	
2	<i>Picea purpura</i>	Colorado Spruce	City ROW Bradley Ave	21	2	3	Fair	lean south, exposed roots, topped	conflict with proposed construction and tree condition	remove	consent from the City of London required
3	<i>Picea purpura</i>	Colorado Spruce	Subject Site	40	2.5	2	Fair	exposed roots	conflict with proposed construction and tree condition	remove	
4	<i>Acer saccharinum</i>	Silver Maple	City ROW Bradley Ave	37	4	5	Fair	cavity forming at primary union	conflict with proposed construction and tree condition	remove	consent from the City of London required
5	<i>Acer saccharinum</i>	Silver Maple	City ROW Bradley Ave	38	4	4	Fair	included bark at attachment, epicormic growth, minor dead wood in canopy	conflict with proposed construction and tree condition	remove	consent from the City of London required
6	<i>Acer saccharinum</i>	Silver Maple	City ROW Bradley Ave	45	4	4	Fair	epicormic growth, cavities forming at primary union	conflict with proposed construction and tree condition	remove	consent from the City of London required
7	<i>Acer platanoides</i>	Norway Maple	City ROW Bradley Ave	38	4	5	Fair	minor split in trunk with cavity forming	conflict with proposed construction and tree condition	remove	consent from the City of London required
8	<i>Acer platanoides</i>	Norway Maple	Subject Site	47	5	5	Good	slight lean	conflict with proposed construction	remove	
9	<i>Acer platanoides</i>	Norway Maple	Subject Site	36	4	5	Fair	lean north, cavities forming	conflict with proposed construction	remove	
10	<i>Acer platanoides</i>	Norway Maple	Subject Site	32	4	3	Fair	major cavities	conflict with proposed construction	remove	
11	<i>Acer platanoides</i>	Norway Maple	Subject Site	29	3	4	Fair	dead wood in crown	conflict with proposed construction	remove	
12	<i>Acer platanoides</i>	Norway Maple	Subject Site	39	5	5	Fair	exposed roots	conflict with proposed construction	remove	
13	<i>Acer platanoides</i>	Norway Maple	Subject Site	33	5	3	Poor	dead wood, exposed circling roots	conflict with proposed construction and tree condition	remove	
14	<i>Acer platanoides</i>	Norway Maple	Subject Site	29	3.5	2	Fair	cavity at primary union, deadwood, exposed roots	conflict with proposed construction and tree condition	remove	

TREES TO BE PRESERVED (10)

ID #	BOTANICAL NAME	COMMON NAME	LOCATION	SIZE (DBH (cm))	HEALTH & CONDITION	COMMENTS	EXPECTED CONSTRUCTION IMPACT	RECOMMENDATIONS	NOTES		
15	<i>Ulmus cordata</i>	Little Leaf Linden	City ROW Bradley Ave	28	2.5	5	Fair	burts in trunk	potential conflict with site grading	preserve	tree protection barrier
16	<i>Pinus strobus</i>	Austrian Pine	Subject Site	47.42	4	5	Fair	codominant, primary union at grade	potential conflict with site grading	preserve	tree protection barrier
17	<i>Gelitis acedifolius</i>	Haskberry	Subject Site	5	1	5	Good	recently planted, staked	potential conflict with site grading	preserve	tree protection barrier
18	<i>Acer saccharum</i>	Sugar Maple	100 Jaina Boulevard	24	2.5	5	Fair	Canopy heavy west	potential conflict with site grading	preserve	tree protection barrier
19	<i>Acer saccharum</i>	Sugar Maple	100 Jaina Boulevard	16	1.5	4	Poor	Basal wound, major cracks in trunk, large branches removed at primary union	potential conflict with site grading	preserve	tree protection barrier
20	<i>Acer saccharum</i>	Sugar Maple	100 Jaina Boulevard	17	2	4	Fair	Basal wound, major wounds on trunk	potential conflict with site grading	preserve	tree protection barrier
21	<i>Acer saccharum</i>	Sugar Maple	100 Jaina Boulevard	25	2.5	4	Fair	Slight lean in trunk, basal wound, old grape wounds, multiple broken branches in canopy	potential conflict with site grading	preserve	tree protection barrier
22	<i>Acer saccharum</i>	Sugar Maple	100 Jaina Boulevard	23	2.5	5	Fair	Good	potential conflict with site grading	preserve	tree protection barrier
23	<i>Acer saccharum</i>	Sugar Maple	100 Jaina Boulevard	18	2	5	Fair	Multiple broken branches in canopy	potential conflict with site grading	preserve	tree protection barrier
24	<i>Acer saccharum</i>	Sugar Maple	100 Jaina Boulevard	26	3	5	Fair	Minor basal wound	potential conflict with site grading	preserve	tree protection barrier



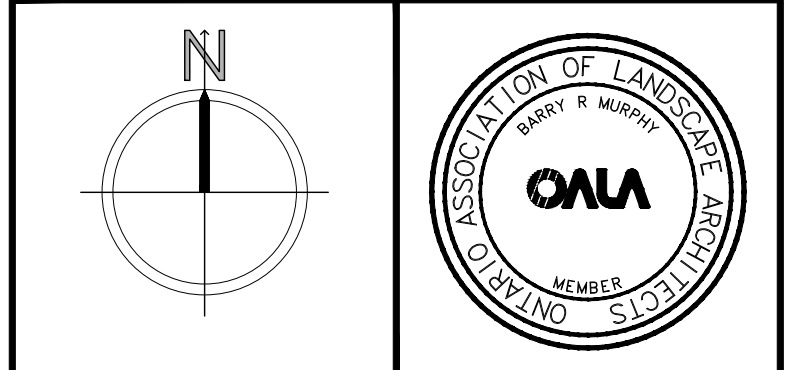
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Barry R. Murphy, O.A.L.A. C.S.L.A. DATE

DATE	DESCRIPTION	No.
FEB/21/24	ISSUED FOR ZBA	3.
FEB/20/24	ISSUED FOR REVIEW	2.
JAN/31/24	ISSUED FOR REVIEW	1.

PLOTTING INFORMATION:
 PLOTTED DATE: FEB/21/24
 PLOTTED SCALE: 1/1

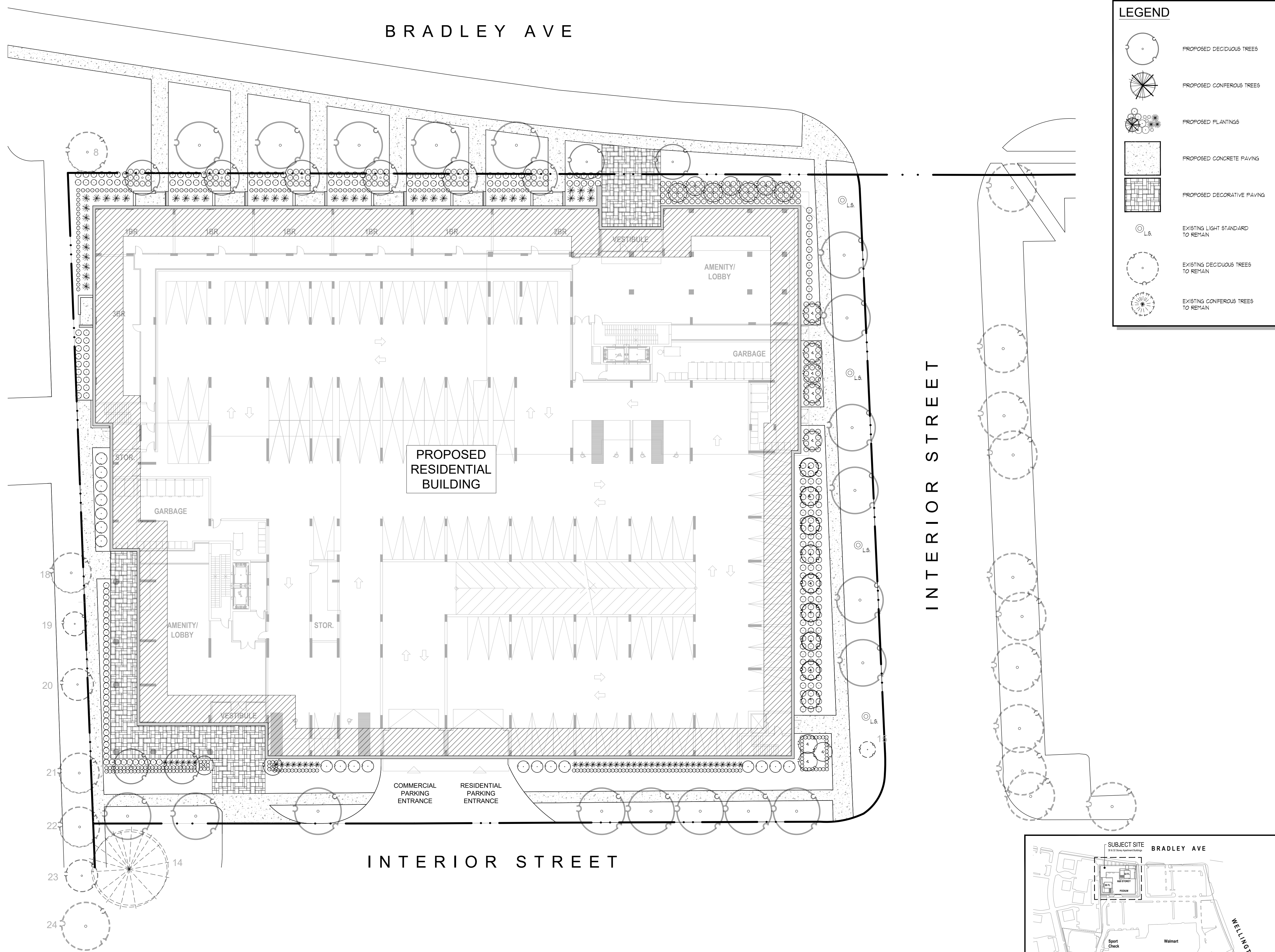


PROJECT TITLE:
WHITE OAKS APARTMENTS SITE 1
 1105 WELLINGTON ROAD
 LONDON, ONTARIO

DRAWING TITLE:
TREE PRESERVATION PLAN

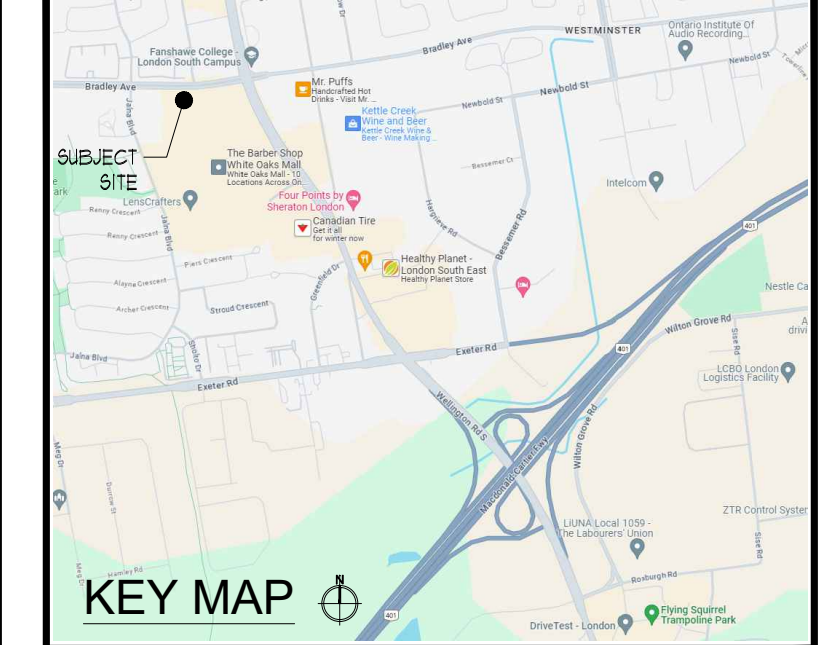
DATE: JANUARY 2024	SCALE: AS NOTED	DRAWING No. T-1
DRAWN: RKL/A Inc.	CHECKED BY: B.R.M.	
PROJECT No. 24-109S1-Lg ZBA		

TREE PRESERVATION PLAN
 SCALE = 1:250



LEGEND

- PROPOSED DECIDUOUS TREES
- PROPOSED CONIFEROUS TREES
- PROPOSED PLANTINGS
- PROPOSED CONCRETE PAVING
- PROPOSED DECORATIVE PAVING
- EXISTING LIGHT STANDARD TO REMAIN
- EXISTING DECIDUOUS TREES TO REMAIN
- EXISTING CONIFEROUS TREES TO REMAIN



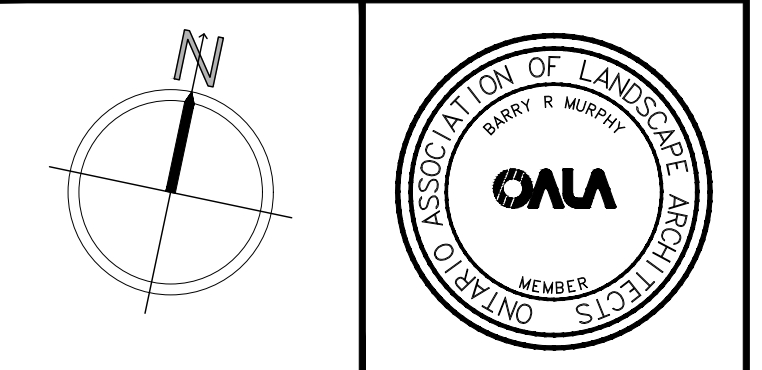
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Barry R. Murphy, O.A.L.A. C.S.L.A. DATE

DATE	DESCRIPTION	No.
FEB2124	ISSUED FOR ZBA	3.
FEB2024	ISSUED FOR REVIEW	2.
JAN3124	ISSUED FOR REVIEW	1.

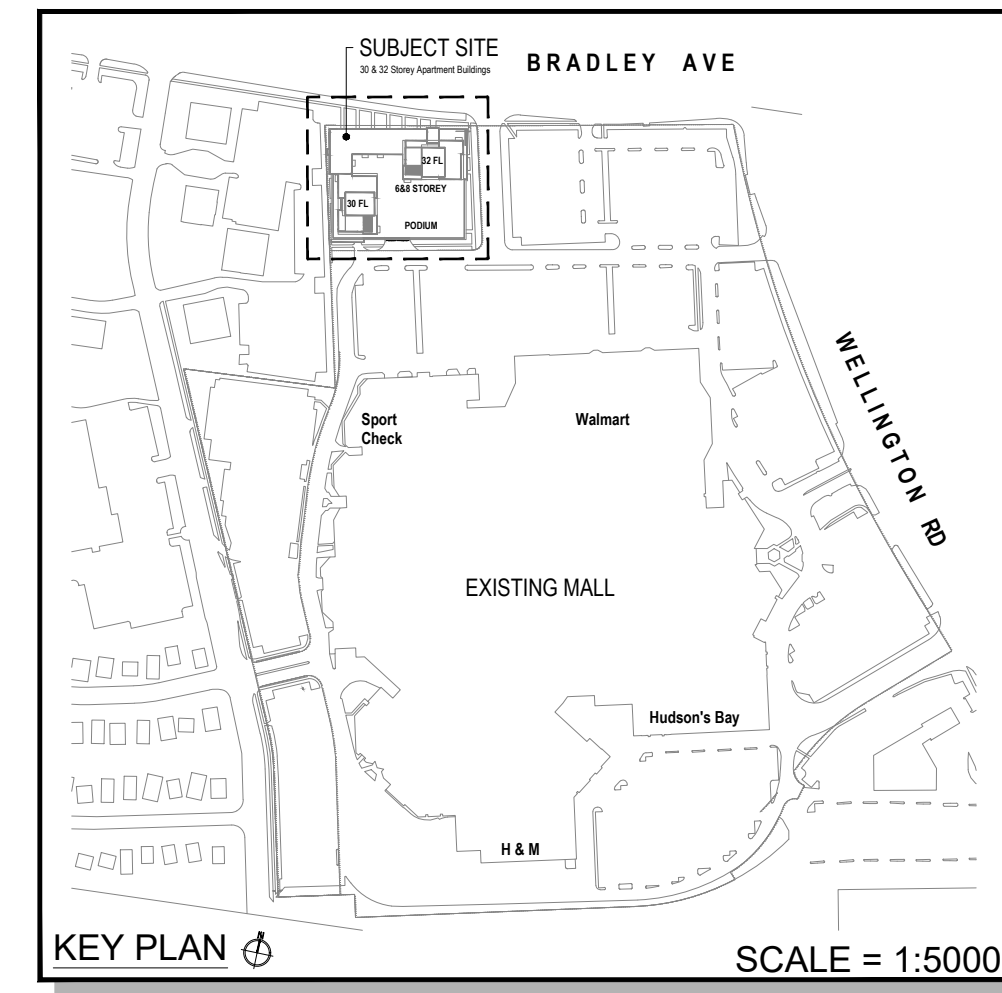
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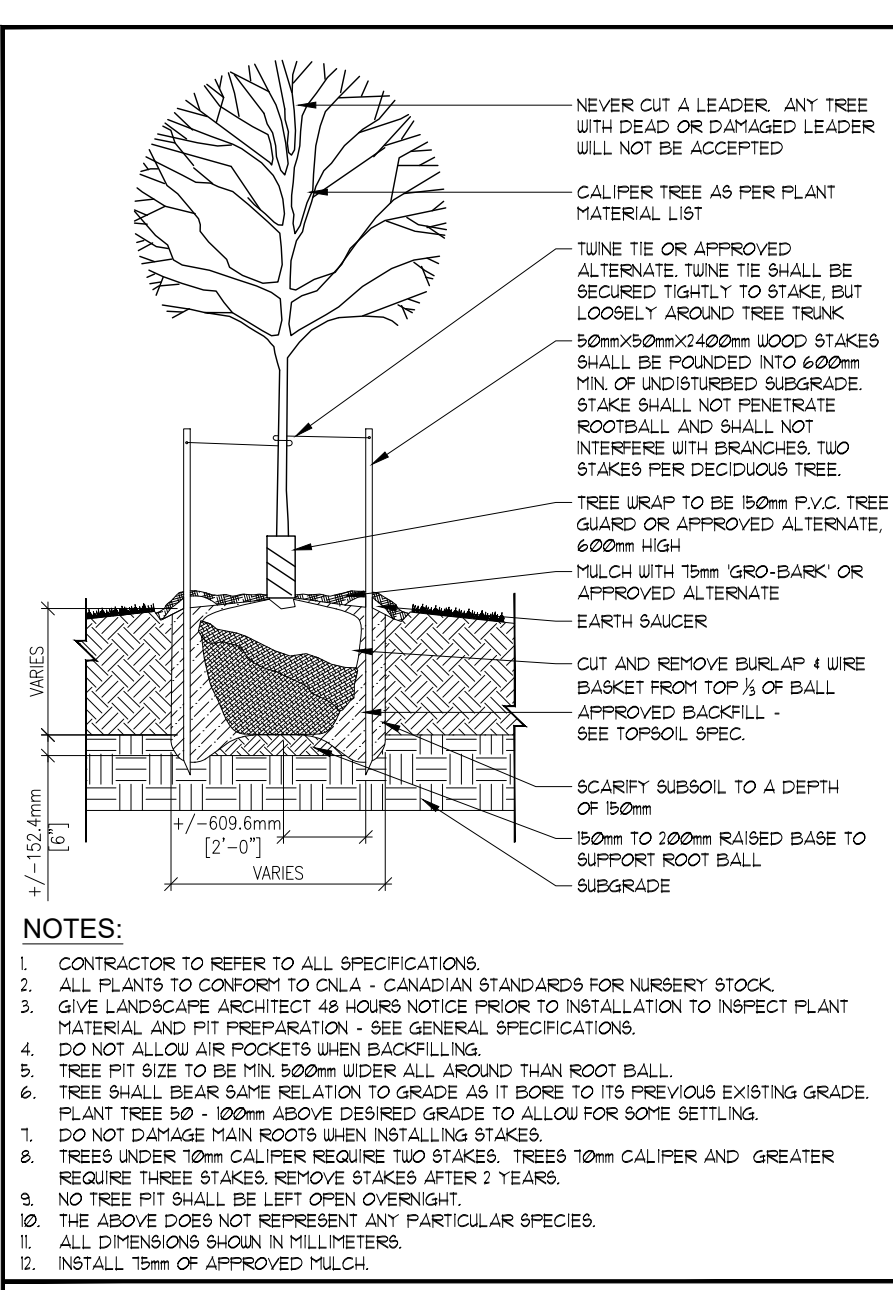
PROJECT TITLE:
WHITE OAKS APARTMENTS SITE 1
 1105 WELLINGTON ROAD
 LONDON, ONTARIO

DRAWING TITLE:
LANDSCAPE PLAN

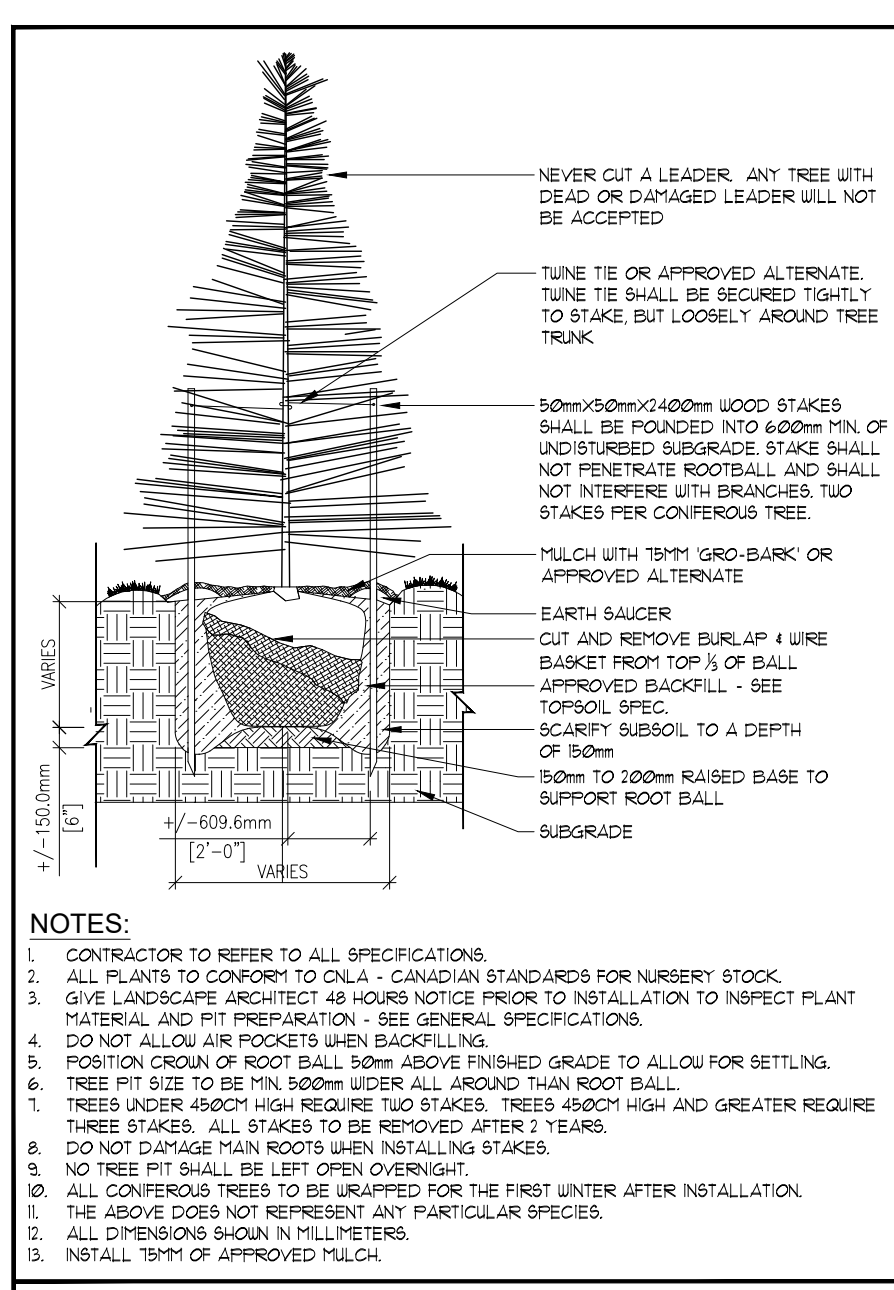
DATE: JANUARY 2024	SCALE: AS NOTED	DRAWING No. L-1
DRAWN: RKL/A Inc.	CHECKED BY: B.R.M.	
PROJECT No. 24-109S1-Lg ZBA		



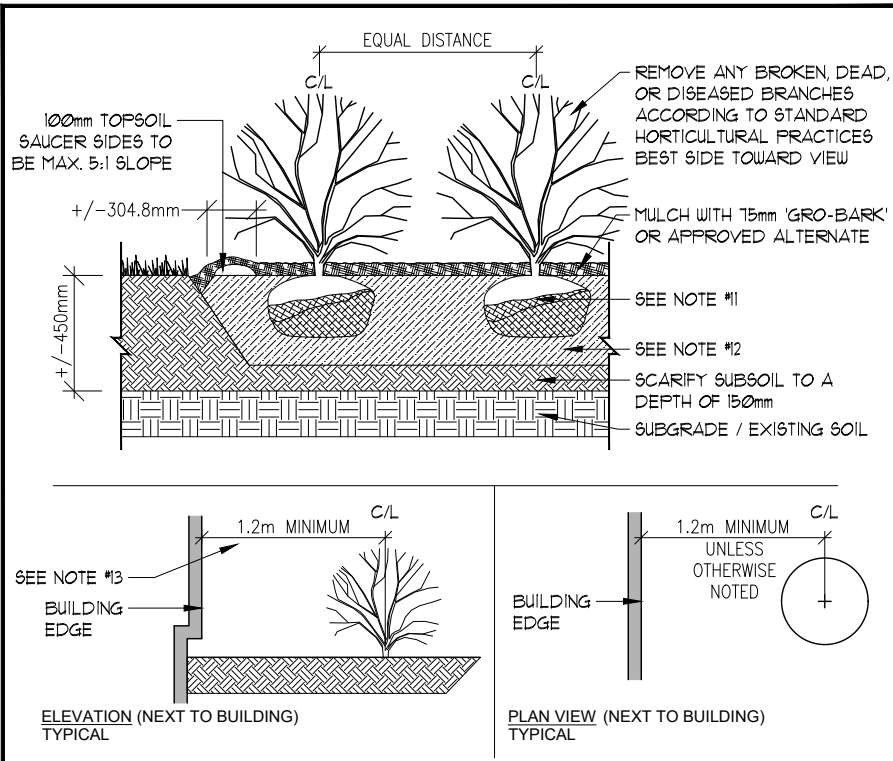
LANDSCAPE PLAN
 SCALE = 1:250



DECIDUOUS TREE PLANTING DETAIL - N.T.S.



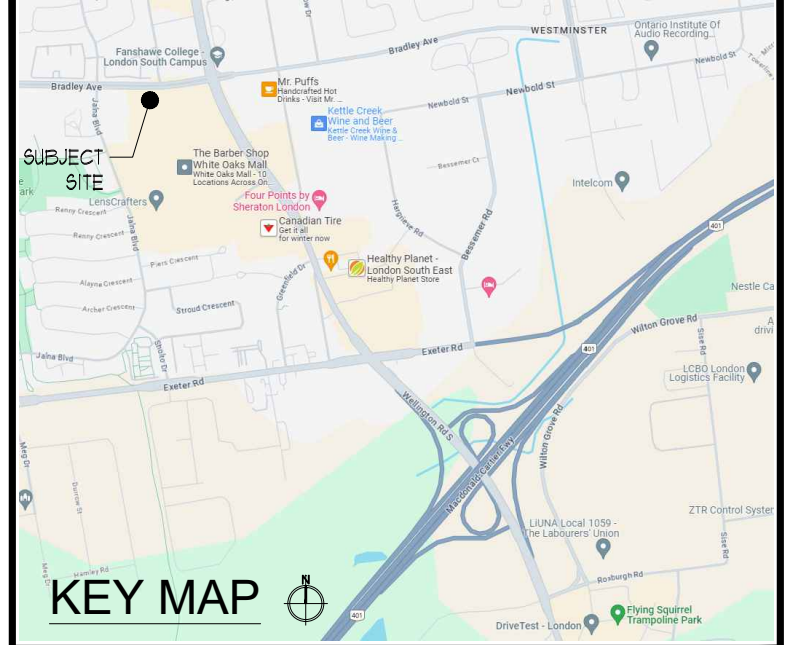
CONIFEROUS TREE PLANTING DETAIL - N.T.S.



SHRUB PLANTING DETAIL - N.T.S.

GENERAL PLANTING SPECIFICATIONS:

- BASE INFORMATION SUPPLIED BY JEEO ARCHITECTURE.
 - ENGINEERING INFORMATION SUPPLIED BY [REDACTED].
 - CONTRACTORS TO MAKE THEMSELVES FAMILIAR WITH ALL RELATED SPECIFICATIONS.
 - CONTRACTORS ARE RESPONSIBLE FOR REVIEW OF ALL SPECIFICATIONS AND RELATED DRAWINGS WITH SELECTED SUB-CONTRACTORS AS THEY PERTAIN TO WORK AS OUTLINED ON LANDSCAPE ARCHITECTURAL WORKING DRAWINGS AND SPECIFICATIONS.
 - REPORT ALL DISCREPANCIES TO THE LANDSCAPE ARCHITECT DURING TENDERING PROCESS. ERRORS AND/OR OMISSIONS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - CONTRACTOR TO MAINTAIN ALL LANDSCAPED AREAS UNTIL OWNER ACCEPTANCE OF PROJECT. CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT IN WRITING ON COMPLETION OF PROJECT FOR A SITE WORK COMPLETION CERTIFICATE AS WELL AS THE COMMENCEMENT OF THE ACCEPTANCE OF PROJECT.
 - ALL WORKMANSHIP TO BE WARRANTED FOR ONE YEAR UNLESS OTHERWISE STATED. WARRANTY PERIOD WILL BEGIN ON FINAL ACCEPTANCE OF PROJECT.
 - ALL WORKMANSHIP TO COMPLY WITH THE CANADIAN LANDSCAPE STANDARDS.
 - ALL NURSERY STOCK TO BE #1 NURSERY GROWN AND MUST COMPLY WITH THE CANADIAN NURSERY LANDSCAPE ASSOCIATION'S 'CANADIAN NURSERY STOCK STANDARDS' LATEST EDITION.
 - ALL LANDSCAPING IS TO BE INSTALLED PRIOR TO THE END OF THE FIRST GROWING SEASON FOLLOWING THE OCCUPANCY OF THE SITE DEVELOPMENT UNLESS OTHERWISE STATED.
 - CONTRACTOR IS RESPONSIBLE FOR ALL UNDERGROUND UTILITIES AND MUST SUPPLY THE LANDSCAPE ARCHITECT WITH COPIES OF LOCATE CERTIFICATES PRIOR TO COMMENCEMENT OF WORK.
- GRADING**
- CONTRACTOR TO ENSURE POSITIVE DRAINAGE IN ALL AREAS.
 - ALL GRADING TO BE IN ACCORDANCE WITH SITE ENGINEERS DRAWINGS.
 - SOIL SHALL BE SCARIFIED FREE OF ALL STONES, ROOTS, BRANCHES LARGER THAN 1" (25MM) AND COMPACTED TO 85% R.P.D.
 - ALL SUBSOIL TO BE SCARIFIED TO A DEPTH OF 6" (150 MM) PRIOR TO THE INSTALLATION OF TOPSOIL TO ENSURE NO HARDSPAN CONDITIONS.
 - CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF TOPSOIL TO APPROVE SUBBASE.
 - DIRECT ALL RAINLEADERS AND SWP LEADERS AWAY FROM PLANTING BEDS AND TO THE DESIGNATED SWALES.
 - NOTIFY LANDSCAPE ARCHITECT IN WRITING OF ANY SUBSTANTIAL VIET CONDITIONS.
- TOPSOIL**
- AT THE CONTRACTORS EXPENSE A SOIL TEST IS TO BE COMPLETED BY A REPUTABLE LABORATORY. THE SOIL TEST IS TO BE COMPLETED AND IF NECESSARY, RECOMMENDATIONS FROM THE LABORATORY ARE TO BE INCLUDED. THE RESULTS OF SOIL TESTS AND RECOMMENDATIONS ARE TO BE PROVIDED TO THE LANDSCAPE ARCHITECT FOR APPROVAL ONE WEEK PRIOR TO WORK COMMENCING.
 - TOPSOIL FOR PLANTING BEDS IS TO BE A FERTILE, FRUITFUL, NATURAL LOAM TO A MINIMUM DEPTH OF 8" (400MM) AND A MINIMUM DEPTH OF 4" (100MM) FOR TURF AREAS - UNLESS OTHERWISE STATED - TOPSOIL SHALL CONTAIN NOT LESS THAN 4% ORGANIC MATTER FOR CLAY LOAMS AND NOT LESS THAN 2% ORGANIC MATTER FOR SANDY LOAM TO A MAXIMUM OF 8% AND CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH FREE OF SUBSOIL CONTAMINATION, ROOTS AND STONES OVER 50mm DIAMETER. REASONABLY FREE OF WEEDS, AS DETERMINED BY THE LANDSCAPE ARCHITECT, AND HAVING A PH RANGING FROM 6.0 TO 7.0.
 - TOPSOIL IS TO BE STOCKPILED FOR USE ON SITE DEVELOPMENT. AVOID MIXING TOPSOIL WITH SUBSOIL. LIMIT HEIGHT OF STOCKPILE TO 2M TO RETAIN SOIL MICROORGANISMS AND SOIL VIABILITY AND FERTILITY.
 - IF APPLICABLE, ALL WORK IN ANY ROAD ALLOWANCE SHALL MEET THE MINIMUM SPECIFICATIONS OF THE MUNICIPALITY. ENSURE A MINIMUM OF 100MM TOPSOIL IS INSTALLED IN BOULEVARDS.
 - PROTECT THE MUNICIPALITY OWNED ROAD ALLOWANCE(S)/BOULEVARD(S) FROM COMPACTION OR SOIL CONTAMINATION.
- MULCH**
- ALL TREEMITS, SHRUB PITS AND PLANTING AREAS ARE TO BE MULCHED UNLESS OTHERWISE NOTED.
 - CONTRACTOR TO INSTALL 2" (50MM) OF GRD-BARK MEDIUM MULCH IN ALL AREAS.
 - ALTERNATIVES MAY BE ACCEPTED - CONTRACTOR TO PROVIDE 3 SAMPLES FOR WRITTEN APPROVAL TO THE LANDSCAPE ARCHITECT.
- PLANT MATERIALS**
- CONTRACTOR TO VERIFY ALL PLANT MATERIAL ON DRAWING(S) AND PLANT MATERIAL LIST(S). REPORT ALL DISCREPANCIES AT TENDERING PROCESS.
 - SUBSTITUTIONS WILL NOT BE ACCEPTED WITHOUT WRITTEN CONFIRMATION BY THE LANDSCAPE ARCHITECT.
 - PLANTINGS MAY BE ADJUSTED TO SUIT UTILITIES STRUCTURES AND AESTHETIC CONCERNS. ADJUSTMENTS ARE TO BE MADE UNDER THE DIRECTION OF THE LANDSCAPE ARCHITECT. ADJUSTMENTS TO PLANTING WITHOUT CONSENT OF LANDSCAPE ARCHITECT AND OR PROJECT MANAGER MAY NOT MEET INTENT OF DESIGN AND OR MUNICIPAL APPROVALS. PLANT MATERIAL THAT HAS TO BE RELOCATED AS A RESULT WILL BE AT THE COST OF THE CONTRACTOR.
 - LANDSCAPE ARCHITECT TO INSPECT ALL PLANT MATERIAL ON SITE OR AT ITS SOURCE PRIOR TO INSTALLATION. CONTRACTOR IS TO GIVE LANDSCAPE ARCHITECT 48 (HRS) NOTICE FOR INSPECTION.
 - CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT IN WRITING IF ADVERSE WEATHER MAY IMPACT THE HEALTH OF THE PLANT MATERIALS AT TIME OF PLANTING - I.E. TEMPERATURE, PRECIPITATION.
 - ALL TREE PITS SHALL BE AT LEAST 2 FT. (600MM) WIDER THAN BALL OF THE TREE TO BE PLANTED AND SHALL BE DEEP ENOUGH SO THAT THE TOP OF BALL IS AT THE SAME LEVEL AS SURROUNDING GRADE. A MINIMUM OF 6" (150MM) OF BACKFILL SHALL BE PLACED UNDER BALL. TREE PITS ARE NOT TO BE LEFT OPEN OVER NIGHT.
 - SHRUB BEDS SHALL BE EXCAVATED TO A DEPTH OF 8" (400MM) AND FILLED WITH APPROVED BACKFILL MATERIAL. SHRUB BEDS ARE NOT TO BE LEFT OPEN OVER NIGHT.
 - ALL TREES SHALL HAVE AN EARTH SAUCER AT ITS BASE WITH A DIAMETER AS LARGE AS EXCAVATED AREA AND SHAPED TO RETAIN WATER (SEE DETAIL). EARTH SAUCER TO HAVE APPROVED MULCH INSTALLED TO A MINIMUM DEPTH OF 25" (635MM).
 - ALL BURLAP SHALL BE CUT AND BURIED BELOW SURFACE DURING PLANTING.
 - ALL EVERGREENS ARE TO BE UNWRAPPED THE FIRST WINTER AT THE EXPENSE OF THE LANDSCAPE CONTRACTOR.
 - ALL SHRUBS PLANTED WITHIN 4' OF SALTED ROADWAYS, PARKING AND SIDEWALKS TO BE PROTECTED WITH SILT FENCING THROUGHOUT THE FIRST WINTER AFTER INSTALLATION AT THE EXPENSE OF THE LANDSCAPE CONTRACTOR (OPTIONAL).
 - DIRECT ALL RAINLEADERS AND SWP LEADERS AWAY FROM PLANTING BEDS AND TO DESIGNATED DRAINAGE SWALES.
 - DO NOT INSTALL PLANT MATERIAL IN DRAINAGE SWALES.
 - CONTRACTOR IS TO REMOVE ALL STAKES AND GUY WIRES AFTER 7 FULL GROWING SEASONS.
- SOD**
- ALL LANDSCAPED AREAS TO BE SODDED TO THE STREET CURB (S) UNLESS OTHERWISE STATED.
 - CONTRACTOR TO ENSURE (WHERE APPLICABLE) ALL PLANTING BEDS ADJACENT TO TRAFFIC ISLANDS, INTERIOR SITE CURBING, AND SIDEWALKS HAVE A 3" (75MM) SOD MAINTENANCE STRIP INSTALLED.
 - ANY SODDING OR WORKS ON LANDS ABUTTING THE PROPERTY FROM THE LOTLINES TO SIDEWALK AND CURBING SHALL BE COMPLETED OR REPAIRED TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT, CITY, AND OR REGIONAL MUNICIPALITY UNLESS OTHERWISE STATED.
 - SOD SHALL BE CERTIFIED #1 CULTIVATED TURF GRASS, GROWN AND SOLD IN ACCORDANCE WITH THE CLASSIFICATIONS OF THE NURSERY SOD GROWERS ASSOCIATION OF ONTARIO. AT TIME OF SALE IT SHALL HAVE A STRONG FIBROUS ROOT SYSTEM AND SHALL BE CUT IN PIECES APPROXIMATELY ONE SOYD (300 MM) IN AREA WITH THE SOIL PORTION BEING 3/4" (19MM).
 - SOD TO BE FERTILIZED AT THE APPROPRIATE RATES AS INDICATED BY SOIL TESTS COMPLETED BY A REPUTABLE SOILS LABORATORY.
 - UPON INSTALLATION AREAS SHOULD BE WATERED SO AS TO SATURATE SOD AND THE UPPER 4" (100MM) OF BACKFILL TOPSOIL. AFTER SOD AND SOIL HAVE DRIED SUFFICIENTLY TO PREVENT DAMAGE, IT SHALL BE ROLLED WITH A ROLLER PROVIDING 1500 LBS. (68KG) PRESSURE PER SOFT.
 - CONTRACTOR TO REPAIR ALL DAMAGED AREAS TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT AND OR CLIENT.
- WATERING**
- DURING THE WARRANTY PERIOD, BETWEEN MAY 15 AND SEPTEMBER 31 OF EACH YEAR, WATERING OF ALL PLANTS SHALL BE CARRIED OUT NO LESS THAN 6 TIMES PER YEAR IN ACCORDANCE WITH THE WATERING SCHEDULE TO BE DETERMINED BY THE OWNER UNLESS OTHERWISE STATED ON THE DRAWINGS. CRITICAL WATERING MONTHS ARE JUNE, JULY & AUGUST.
 - IF NO AUTOMATED IRRIGATION SYSTEM HAS BEEN PROVIDED FOR WATERING OPERATIONS, CONTRACTOR TO PROVIDE WATER TO THE SITE IF HOSE BIBS WITHIN THE BUILDING ENVELOPE ARE NOT AVAILABLE.
 - MANUAL WATERING SHOULD ENSURE DEEP WATERING OF TREES, SHRUBS, GROUND COVERS AND GRASSSED AREAS. WATERING OF GRASSSED AREAS TO COMMENCE ON A REGULAR BASIS AND CONTINUE WITH INTENSITY DEPENDENT ON AMOUNT OF RAINFALL. NEW SOD THAT HAS BEEN LAID SHOULD BE KEPT MOIST FOR 4 TO 5 WEEKS OR UNTIL IT HAS FIRMLY ROOTED INTO THE EXISTING SOIL.
 - ALL CONIFEROUS TREES SHALL BE WATERED IN LATE FALL, JUST PRIOR TO FREEZE-UP.
 - WATER SHALL BE APPLIED SO THAT THE WASHING OF THE SOIL OR DISLODGING OF MULCH OR TREE GUARDS DOES NOT OCCUR. DAMAGE SHALL BE IMMEDIATELY REPAIRED TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST.



KEY MAP



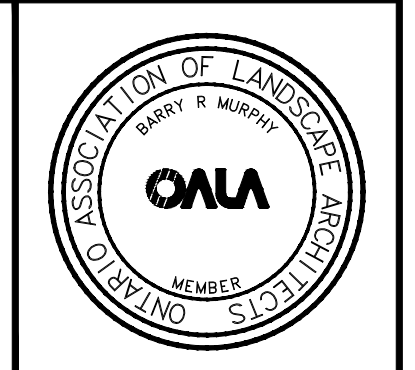
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Barry R. Murphy, O.A.L.A. C.S.L.A. DATE

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FEB.20.24	ISSUED FOR REVIEW	2.
JAN.31.24	ISSUED FOR REVIEW	1.
DATE	DESCRIPTION	No.

PLOTTING INFORMATION
 PLOTTED DATE + FEB.21.24
 PLOTTED SCALE + 1:1



PROJECT TITLE:
WHITE OAKS APARTMENTS SITE 1
 1105 WELLINGTON ROAD
 LONDON, ONTARIO

DRAWING TITLE:
LANDSCAPE DETAILS

DATE: JANUARY 2024	SCALE: AS NOTED	DRAWING No.:
DRAWN: RKL/A Inc.	CHECKED BY: B.R.M.	L-2
PROJECT No.:	24-109S1-Lg_ZBA	