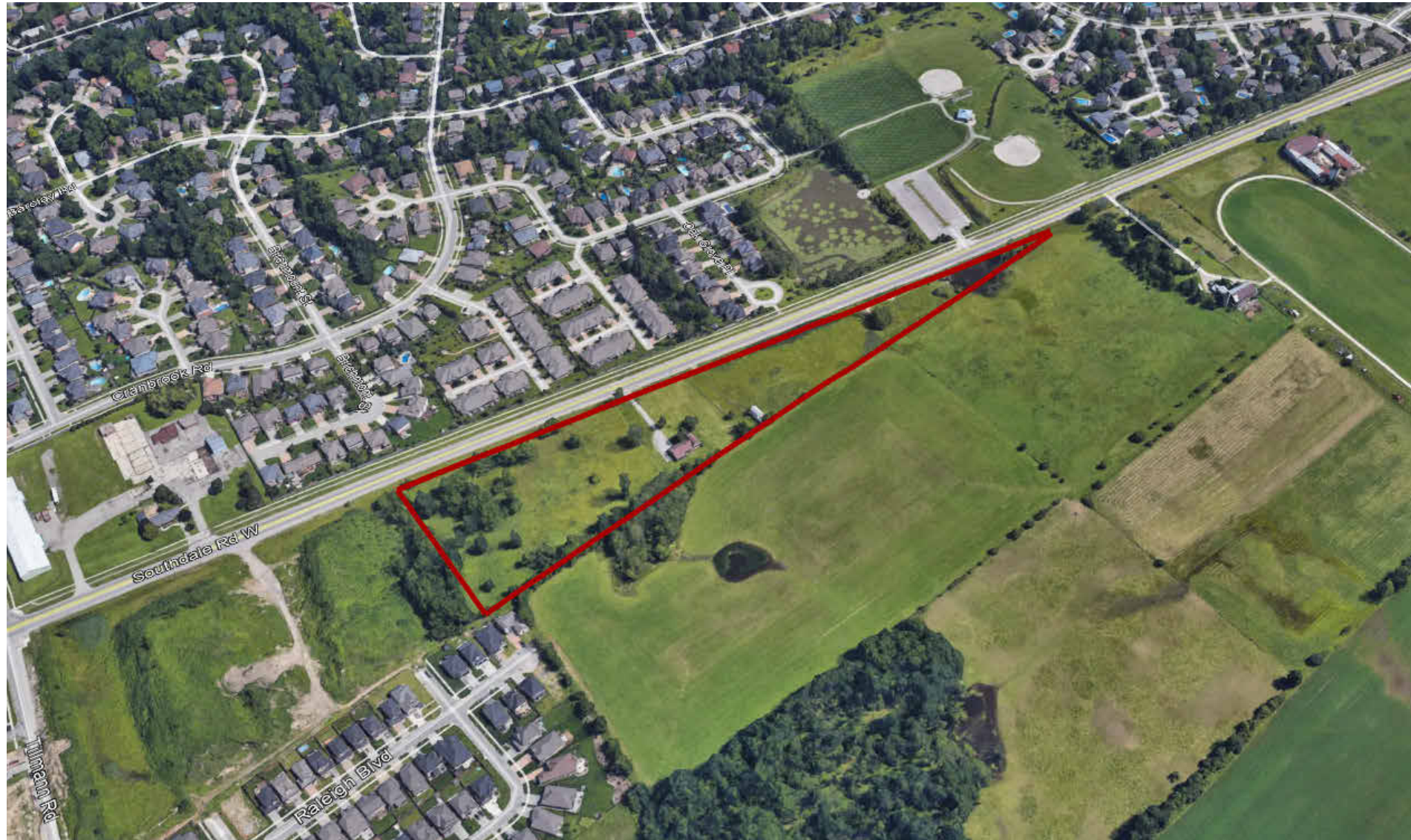


# Feasibility Master Plan

Royal Premier Homes

20-002

2024-02-12



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## 735 SOUTHDALE MASTER PLAN V13 (878 UNITS)

ARCHITECTURE | DESIGN | PLANNING

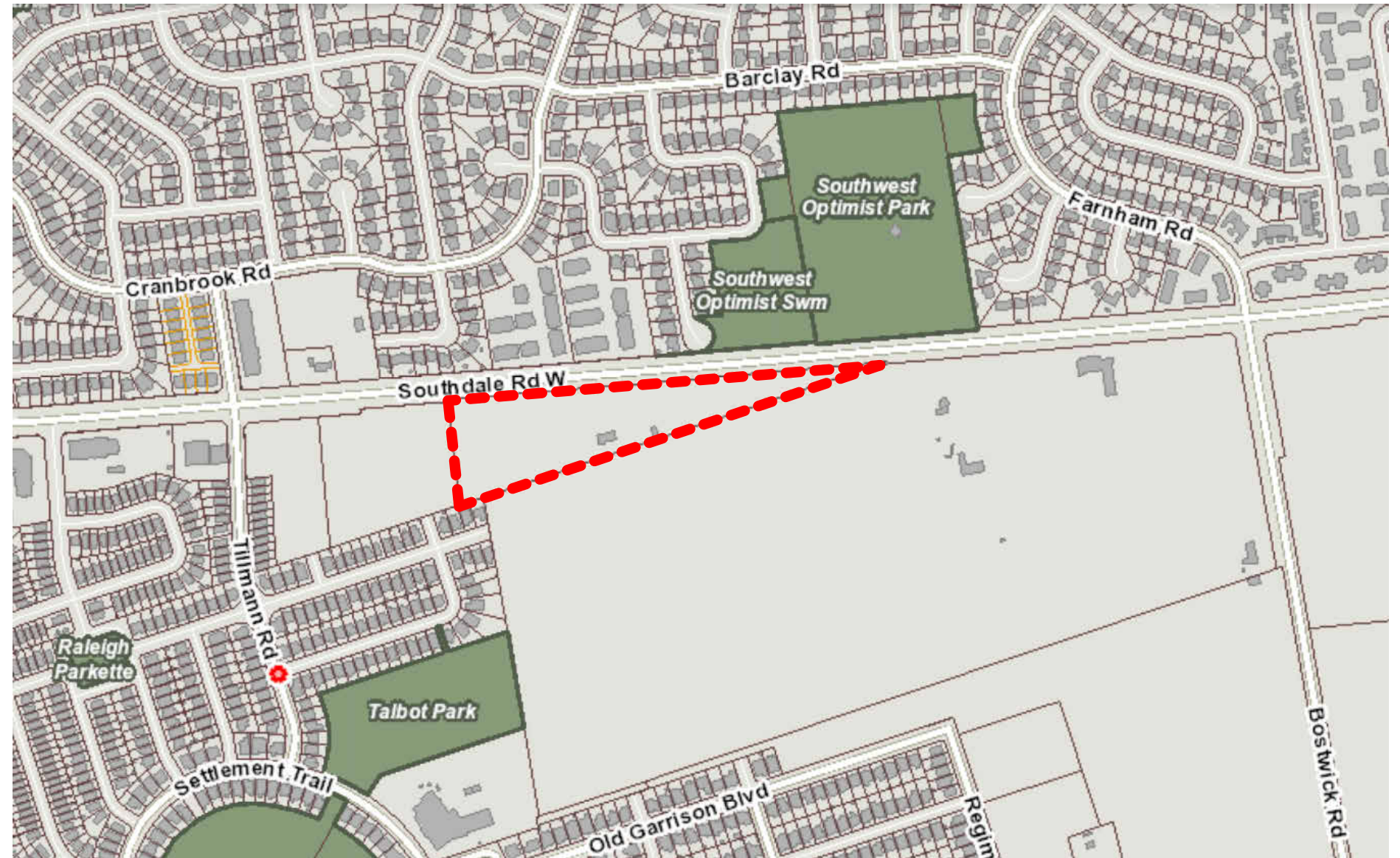
zedd architecture inc Z-627 maitland street london ontario N5Y 2V7 519 518 9333 www.zeddarchitecture.com info@zeddarchitecture.com



## Site Development Stats

735 SOUTHDAL

	ITEM	REQUIREMENT	PROPOSED
1	ZONE - PROPOSED BUILDING PERMITTED USES	R9-7	
2	LOT AREA (MINIMUM)	1000sqm min.	38,035sqm (3.8ha)
3	LOT FRONTAGE (MINIMUM)	30m min.	563m
4	FRONT YARD SETBACK (MINIMUM)	8+3m (11m)	1m
5	EXTERIOR SIDEYARD SETBACK (MINIMUM)	8+3m (11m)	n/a
6	REAR YARD SETBACK (MINIMUM)	30m	13.2m
7	INTERIOR SIDEYARD DEPTH (MINIMUM)	12m	10m (west) 195m (east)
8	LANDSCAPE OPEN SPACE (% MINIMUM)	30% min.	54%
9	COVERAGE (% MAXIMUM)	30%	27.2%
10	HEIGHT (M MAXIMUM)		32m
11	DENSITY (UPH MAXIMUM)	150 uph	231 uph (878 units)
12	OUTDOOR AMENITY SPACE		5,670sqm
14	RESIDENTIAL PARKING	0.5 per unit	922 spaces (1:1.05)
15	RESIDENTIAL BIKE PARKING	0.9 per unit (Long Term) 0.1 per unit (short term)	790 (long term) 88 (short term)



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Scale :

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Feasibility Master Plan

Royal Premier Homes

Stats

2024-02-12

Sk-01

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**461 TOTAL UNITS @ 1,000SF AVERAGE**  
**507 CARS PROVIDED (1:1.1)**

**417 TOTAL UNITS @ 1,000SF AVERAGE**  
**461 CARS PROVIDED (1:1.1)**

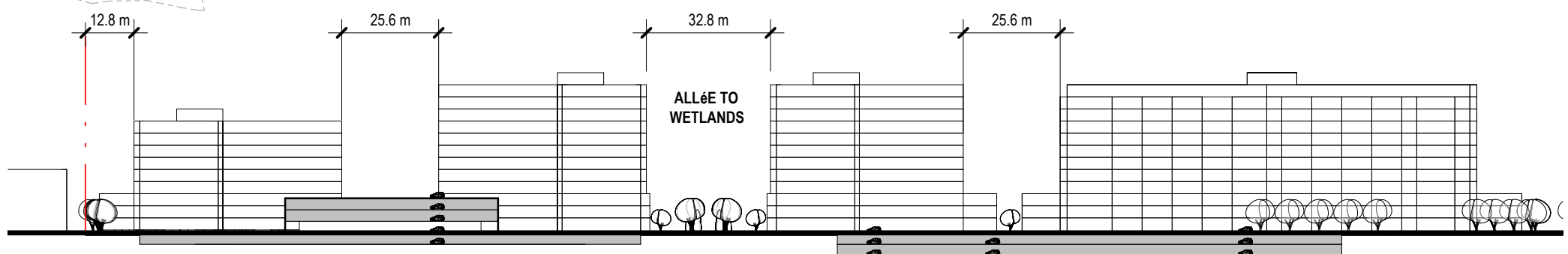
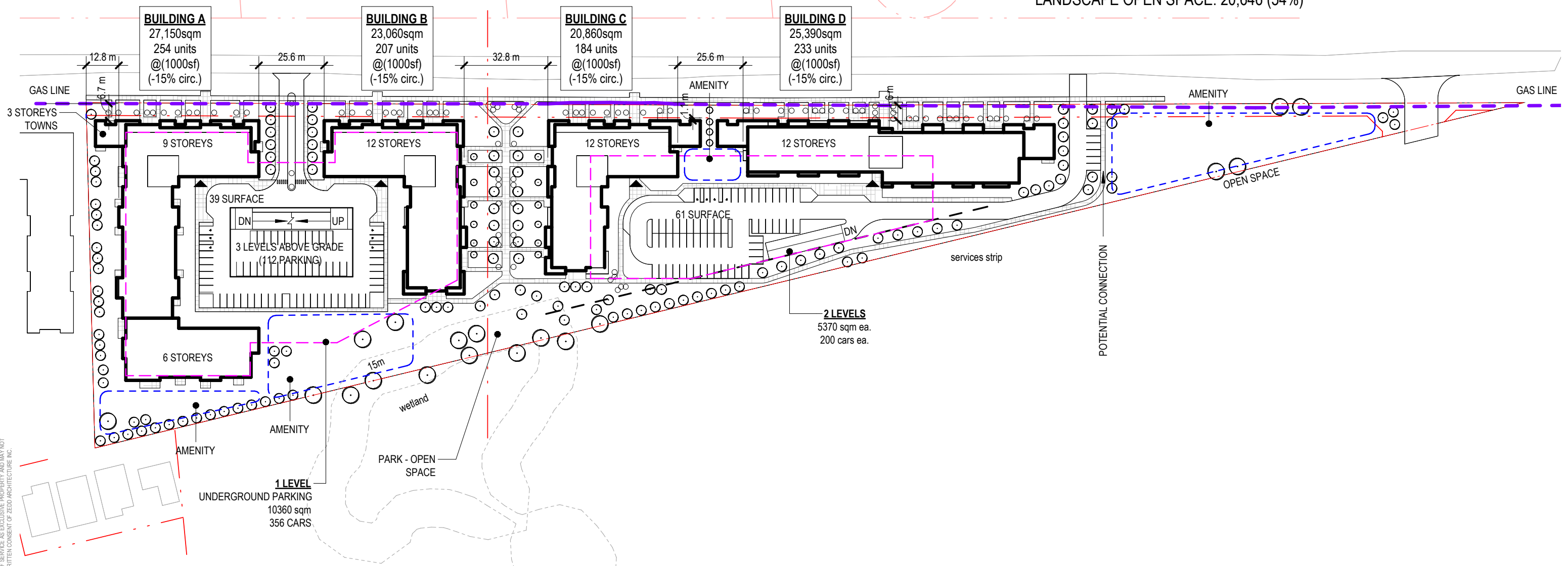
SITE AREA: 38,035 (3.8ha)  
 DENSITY: 878 UNITS (231uph)  
 COVERAGE: 10,360sqm (27.2%)  
 LANDSCAPE OPEN SPACE: 20,646 (54%)

**BUILDING A**  
 27,150sqm  
 254 units  
 @ (1000sf)  
 (-15% circ.)

**BUILDING B**  
 23,060sqm  
 207 units  
 @ (1000sf)  
 (-15% circ.)

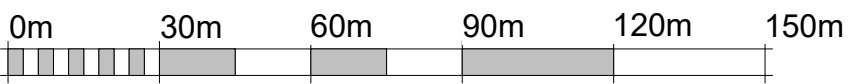
**BUILDING C**  
 20,860sqm  
 184 units  
 @ (1000sf)  
 (-15% circ.)

**BUILDING D**  
 25,390sqm  
 233 units  
 @ (1000sf)  
 (-15% circ.)



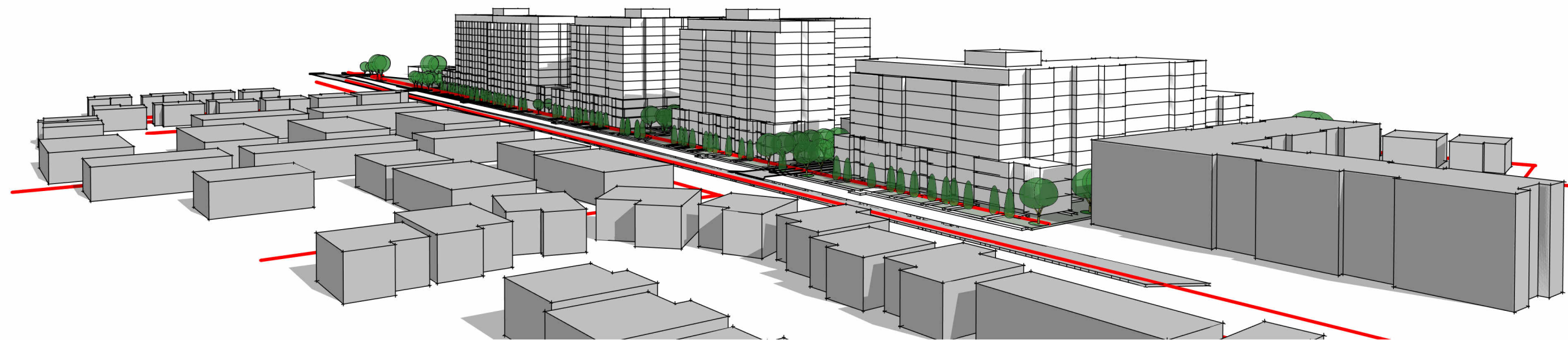
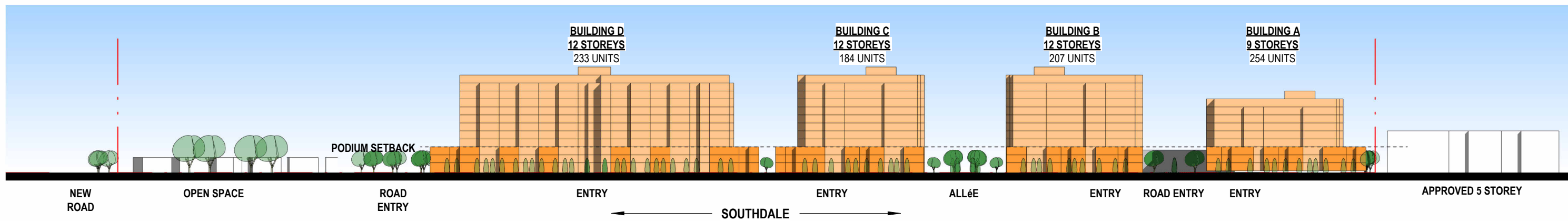
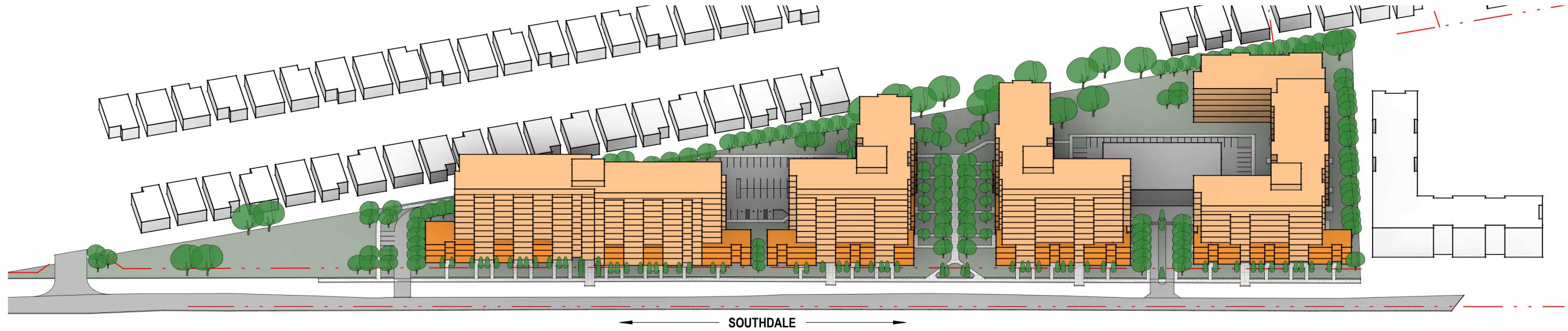
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**VISUAL SCALE 1:1500 @ 11X17**  
 Scale : 1 : 1500





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Scale : 1 : 1600

20-002

Feasibility Master Plan

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Street Elevation

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Sk-03

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**Total Units: 878**

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Scale :

20-002

Feasibility Master Plan

Royal Premier Homes

ISO

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