

NOT FOR CONSTRUCTION
ISSUED FOR REVIEW & COMMENTS ONLY

NOTE:
Vegetation inventory undertaken by Jeremy Jackson,
ISA Certified Arborist (ON-1089A) on Dec. 20, 2023.

REVISIONS/ SUBMISSIONS

#	DATE	DESCRIPTION
1	2024-01-19	Issued for ZBA #1



CLIENT
LJM Developments
MUNICIPALITY
City of London
PROJECT
359 Wellington Road
MUNICIPAL FILE NUMBER
SHEET
Tree Protection Plan **L-1**

adesso design inc.
landscape architecture

69 John Street South, Suite 250
Hamilton, ON L8N 2B9
1.905.526.8876
www.adessodesigninc.ca



Tree #1



Trees #1-5



Trees #2-3



Tree #4



Tree #7



Trees #8-9



Trees #10-12



Tree #12



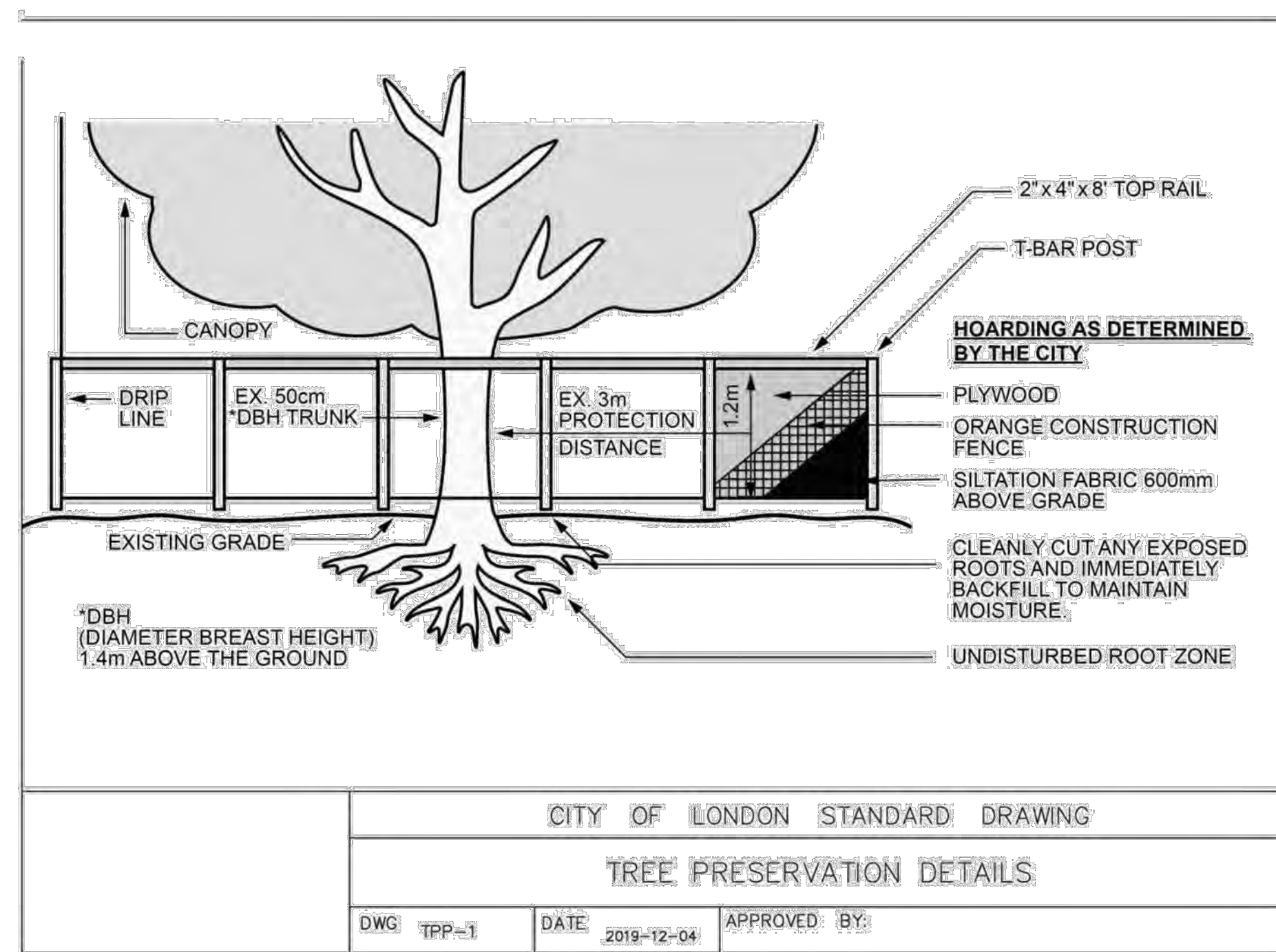
Tree #13



Tree #14



Supplemental Standards for Tree Planting and Protection Guidelines (TPP)



CITY OF LONDON STANDARD DRAWING

TREE PRESERVATION DETAILS

DWG: TPP-1 DATE: 2019-12-04 APPROVED BY:

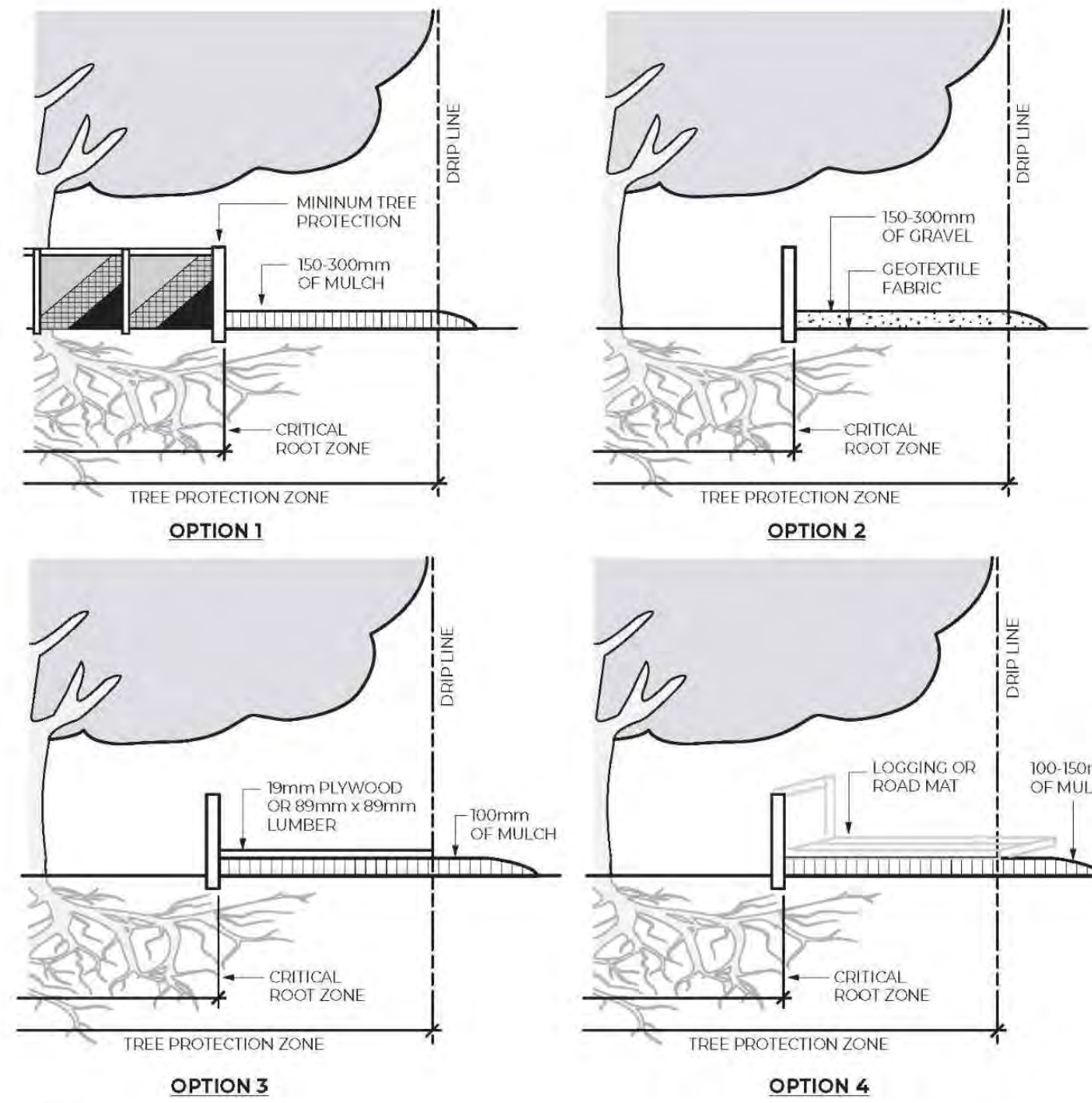
Standard Contract Documents for Municipal Construction Projects 2020 Edition

390



HORIZONTAL TREE PROTECTION

SCALE NTS



NOTES

- HORIZONTAL TREE PROTECTION (HTP) TO BE USED IN COMBINATION WITH TREE PROTECTION BARRIERS WHEN A FULL TREE PROTECTION ZONE CANNOT BE PROVIDED.
- THE FOLLOWING DETAILS ARE EXAMPLES ONLY, AND PROJECT SPECIFIC HTP SHOULD BE DESIGNED BY THE PROJECT ARBORIST, SUBJECT TO APPROVAL BY THE CITY.
- STONE, GEOTEXTILE AND MULCH EXCEEDING 100MM MUST BE REMOVED FROM THE TPZ ONCE THE THREAT OF ROOT DAMAGE OR COMPACTION HAS PASSED.
- THE USE OF HTP DOES NOT RELIEVE THE CONTRACTOR OF THE OBLIGATION TO PROTECT THE TREE FROM ABOVE AND BELOW GROUND DAMAGE. ANY PRUNING REQUIRED TO MINIMIZE CONSTRUCTION DAMAGE IS SUBJECT TO PRIOR APPROVAL FROM FORESTRY OPERATIONS.
- FOR USE WHERE FULL TREE PROTECTION ZONES CANNOT BE PROVIDED, DESIGN AND APPLICATION TO BE APPROVED BY THE CITY OF LONDON ON SITE-SPECIFIC BASIS.

NOTES:

- The area within the dripline of all existing trees shall be properly protected with temporary fencing.
- The area within the protective fencing shall remain undisturbed with no construction activity, grade changes, surface treatment, compaction, or excavation. Area shall not be used for the storage of building materials or equipment access/storage or project related garbage.
- Tree protection measures shall be installed prior to any demolition, tree removal or construction and shall remain until the completion of fine grading and sodding or seeding.
- Prune all trees for dead, diseased, weak or hazardous branches only, also trim back branches which will interfere with construction, prune for structural restoration where necessary.
- No stockpiles and/or excavated material shall be placed within the tree preservation area.
- No rigging cable shall be wrapped around or installed to trees.
- Where root systems of protected trees are exposed directly adjacent to or damaged by construction work they are to be root pruned and the area back filled with topsoil to prevent root desiccation. An Arborist is required to be on site for any injury or cutting to the root system or surface roots of a protected tree.
- Any fine grading within the preservation area is to be done by hand, no heavy equipment is permitted within the preservation zone.
- Sediment accumulations to be removed by subcontractor/builder when sediment deposits reach within 150mm of top of filter fabric barrier. A copy of the approved and signed Vegetation Management Plan will be on site for the duration of construction and available upon request.
- This detail does not represent any particular tree species.

TREE PROTECTION ZONE

No grade change, storage of materials or equipment is permitted within this Tree Protection Zone. Tree protection barrier must not be moved or altered in any way without the written authorization from the City.

Tree Protection Fencing (with silt fence)

N.T.S.

1
L-2

EXISTING VEGETATION IDENTIFICATION TABLE

Tree #	Species (Common Name)	Species (Botanical Name)	DBH (cm)	Crown Class*	Condition**	Minimum Tree Preservation Zone (mTPZ)	Comments	Potential Impacts from Construction	Ownership	Recommendation
1	Siberian Elm	<i>Ulmus pumila</i>	16	S	GOOD	1.8		Conflict with proposed building	Subject Property	REMOVE
2	Siberian Elm	<i>Ulmus pumila</i>	53	CD	GOOD	3.6	Light lean north	Conflict with proposed building	Subject Property	REMOVE
3	Siberian Elm	<i>Ulmus pumila</i>	18	S	GOOD	1.8		Conflict with proposed building	Subject Property	REMOVE
4	Silver Maple	<i>Acer saccharinum</i>	99	CD	FAIR-GOOD	6.0	Union at 1.8 m, pruning wounds with fruiting bodies, diameter measured at 1 m due to union	Conflict with proposed building	Subject Property	REMOVE
5	Siberian Elm	<i>Ulmus pumila</i>	31, 11	I	FAIR-GOOD	2.4	Union at ground, crown bowed east	Conflict with internal road/driveway	Subject Property	REMOVE
6	White Spruce	<i>Picea glauca</i>	12	S	FAIR	1.8	50% crown dieback - shading	Conflict with internal road/driveway	Subject Property	REMOVE
7	Siberian Elm	<i>Ulmus pumila</i>	21, 21, 110	CD	FAIR	6.6	Unions at ground and 1 m with fused stems, diameter measured at 0.5m due to union	Conflict with proposed building	Boundary	REMOVE
8	Siberian Elm	<i>Ulmus pumila</i>	16	I	GOOD	1.8			Neighbouring	SAVE
9	Manitoba Maple	<i>Acer negundo</i>	26	I	GOOD	1.8			Neighbouring	SAVE
10	Siberian Elm	<i>Ulmus pumila</i>	36	CD	GOOD	2.4			Neighbouring	SAVE
11	Siberian Elm	<i>Ulmus pumila</i>	19	I	GOOD	1.8			Neighbouring	SAVE
12	Manitoba Maple	<i>Acer negundo</i>	24, 21	CD	FAIR	1.8	Union at ground, 1 stem bowed north		Neighbouring	SAVE
13	Siberian Elm	<i>Ulmus pumila</i>	10	CD	FAIR-GOOD	1.8	Growing from exposed structural root	Conflict with curb	Subject Property	REMOVE
14	Siberian Elm	<i>Ulmus pumila</i>	10, 10	D	FAIR-GOOD	1.8	Union at ground	Conflict with curb	ROW	REMOVE

* CROWN CLASS
Dominant - (D) Emergent canopy (receives full sunlight)
Co-dominant - (C) Not fully emergent (top of canopy receives sunlight)
Intermediate - (I) Sub-canopy tree (receives partial sunlight)

** CONDITION - consideration of trunk integrity, crown structure and crown vigor
Good - few or no issues related to trunk integrity, crown structure or crown vigor
Fair - minor issues related to trunk integrity, crown structure (form, some dead or damaged branches) or crown vigor (20-80% healthy foliage)
Poor - issues with trunk integrity such as cavities or exposed dead wood, poor crown structure (poor form, no clear leader, significant dead or damaged branches) or poor crown vigor (<20% healthy foliage)

CONDITION OF TREES
The decision to remove or retain a tree is subject to the forecasted development impacts, the structural condition of the tree (e.g. cracks, cavities, decay, weak branching, leaning, hazard potential), the biological condition of the tree (e.g. pest or disease concerns, overall health) and the suitability of the tree in its location (e.g. hardness, soil conditions, salt tolerance, visual obstruction, available soil volume)

CHART LEGEND/CODES

DBH: Diameter at Breast Height (cm)

Trunk Integrity (TI): G = Good, F = Fair, P = Poor

Crown Structure (CS): G = Good, F = Fair, P = Poor

Crown Vigor (CV): G = Good, F = Fair, P = Poor

Crown Class: D = Dominant, CD = Codominant, I = Intermediate, S = Suppressed

NOTE:
Written permission from the neighbouring property owner is required prior to removal or injury of any boundary tree (shared ownership) or any tree that is not fully on the subject property.

MIGRATORY BIRDS AND NESTS:

- The Owner and Contractor must be aware of the Migratory Birds Convention Act, 1994 - specifically:
 - No tree removal or construction activity shall contravene the Act.
 - Construction activities with the potential to harm migratory birds or their nest should be restricted from March 15 to August 31.
 - If work must occur during the migratory bird breeding season, a nest survey should be taken by a qualified avian biologist.
 - A mitigation plan (showing active nests and appropriate buffers) may be required for review and approval by the Canadian Wildlife Services.

TREE REMOVAL:

- No trees shall be removed prior to municipal approval of the Tree Management/Tree Preservation Plan.

BOUNDARY TREES:

- Note that boundary trees are protected under the Ontario Forestry Act. Boundary trees are defined in the Forestry Act (Section 10.2) and are considered shared or co-owned property. The Forestry Act indicates that it is a prosecutable offense for one co-owner to injure or cut down a boundary tree without the other co-owner's permission.
- Written permission from the neighbouring property owner is required prior to removal or injury of any boundary tree (shared ownership) or any tree that is not fully on the subject property.
- An ISA certified Arborist should be on site prior to any work being performed within the rootzone of a boundary or neighbouring tree to perform root pruning as required.

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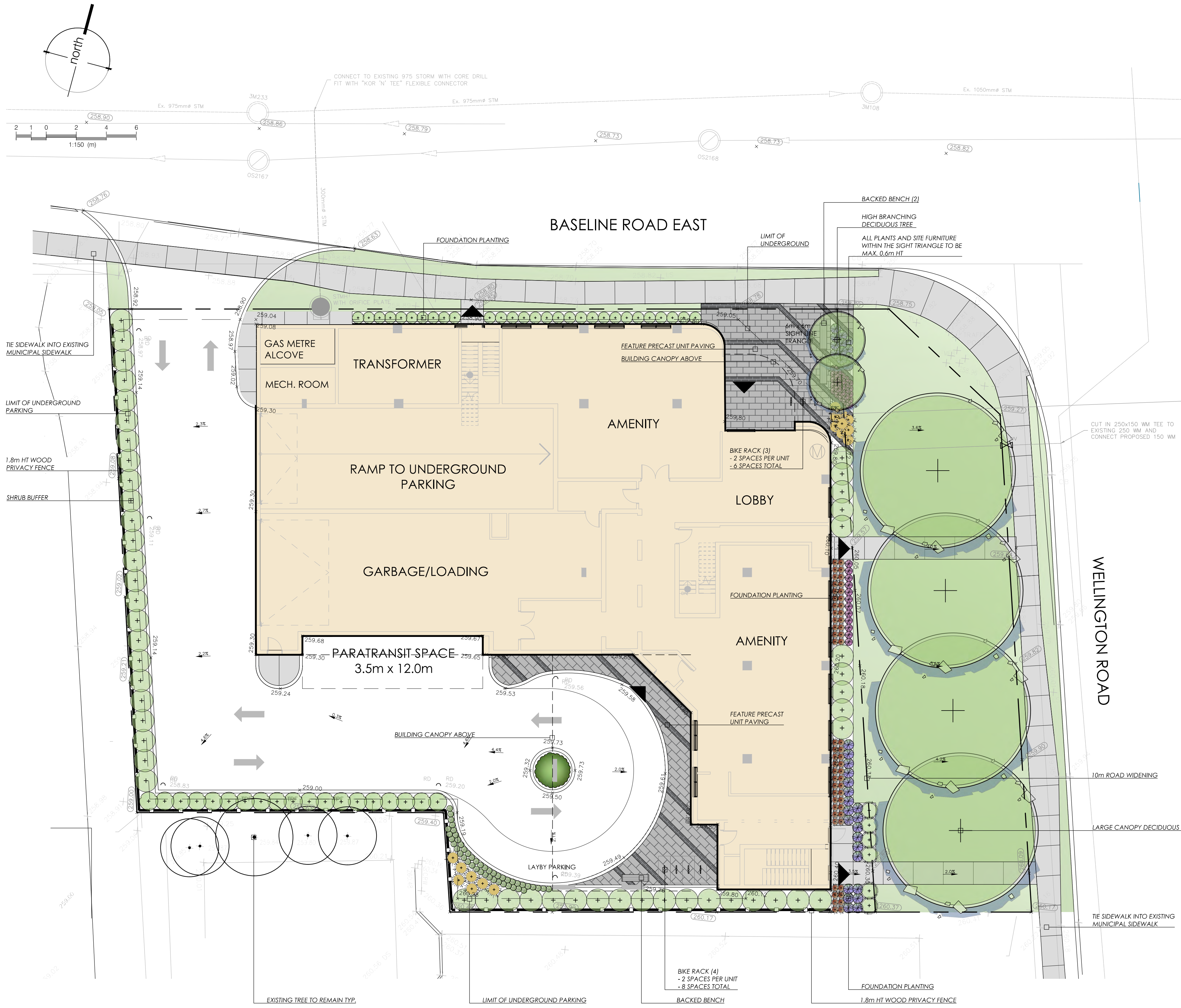
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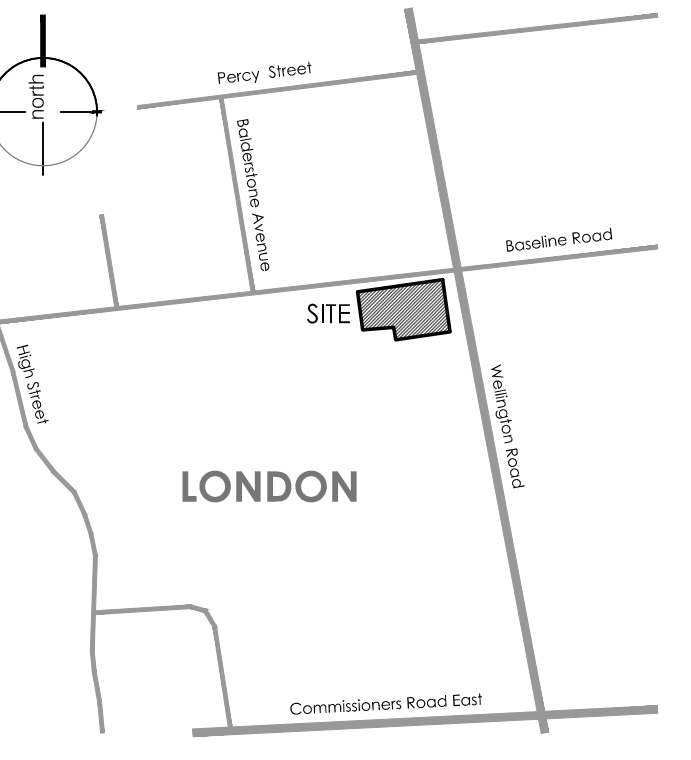
LANDSCAPE NOTES:

- All work to be carried out in accordance with by-laws and codes having jurisdiction over site location.
- Complete all work to the satisfaction of the Landscape Architect.
- Report any changes, discrepancies or substitutions to the Landscape Architect for review. Obtain approval from the Landscape Architect before proceeding.
- It is the contractor's responsibility to determine existing service locations.
- Exact locations of plant material will be determined by placement of site services such as hydro vaults, meters, utilities roof rain water leaders, driveways, light standards, etc.
- All plant material locations to be staked or marked out and approved by Landscape Architect prior to installation.
- Supply all plant material in accordance with the Canadian Standards for Nursery Stock (8th ed.).
- Install plant material according to details shown.
- Supply and place mulch in accordance with Canadian Landscape Standard (Section 10, Mulching). Disturbed soil areas around trees and shrubs are to be covered with shredded cedar bark mulch such as 'Cedar Bark Mulch' by All Treat Forms or 'Classic Cedar Mulch' by Gro-Bark, or approved equivalent. Alternative mulches must be approved by the Landscape Architect.
- Contractor to utilize layout dimensions where provided.
- Provide planting bed areas as noted on the drawing or to accommodate mature size of plant material.
- All support systems must be removed by the contractor at time of final acceptance. No extras will be paid to complete this work.
- Supply and place topsoil in accordance with Canadian Landscape Standard (Section 4, Grading & Drainage and Section 6, Growing Medium) to a minimum depth of 150mm unless otherwise specified.
- Supply and place sod in accordance with Canadian Landscape Standard (Section 7, Lawns & Grass and Section 8, Turfgrass Sod) unless otherwise specified.
- Supply and place seed in accordance with Canadian Landscape Standard (Section 4, Grading & Drainage and Section 6, Growing Medium) unless otherwise specified. All 5:1 or greater slopes to be seeded with fertilizer. Contractor to provide necessary erosion control protection as required to ensure soil stabilization and proper seed germination.
- All dimensions in meters unless otherwise noted.
- If discrepancies arise between plant material count shown on drawing and plant list, the drawing shall be considered correct.
- Contractor to provide minimum one (1) year warranty (including trees on municipal property) from date accepted on all work unless otherwise specified.
- Any site plan or grading and servicing shown is for information only. Refer to approved drawings.
- Not for construction unless stamped, signed and dated by Landscape Architect.
- Drawings not to be reproduced without written consent from Landscape Architect.
- Approval of landscape plan to be obtained from municipality.
- All plant material to be planted a minimum of 1.0m from any swales or ditches.
- For grading and servicing information refer to the consulting Engineer's drawings.
- For lighting information and power distribution refer to the electrical consultant's drawings.

IRRIGATION NOTES:

- The contractor is to design and install an irrigation system to efficiently irrigate all planting beds shown on plan. Plumbing and electrical work shall conform to the prevailing codes, and unless specified otherwise, the construction of the sprinkler system shall include the furnishing, installing and testing of all irrigation equipment, along with the restoration of the site to its original condition.
- The design and layout is to be approved by the landscape architect and/or contract administrator.
- The irrigation system will provide complete and appropriate coverage of the turf and planting areas shown on the drawings. Sprinklers are to direct water away from roads, sidewalks, driveways and buildings. The entire system shall be guaranteed to be complete and function perfectly in every detail for a period of one year from the date of its acceptance.
- All work shall be carried out in accordance with by-laws and codes having jurisdiction over site location.
- It is the responsibility of the plan user to inform themselves of the exact location of all underground and overhead utilities and structures before commencing the work.
- All spray heads shall have pressure regulating devices.
- The client shall be responsible for provision of 110 VAC power within 1 meter of the irrigation controller location.
- The irrigation contractor shall be responsible for the supply and installation of a 2" backflow preventer to the local plumbing code inside of the utility room.
- Mechanical Contractor to provide a 2" size water source complete with stub at the point of connection.
- Irrigation design is based on a static water pressure of 65 psi at the point of connection.

KEY MAP - N.T.S.



LEGEND

- property line
- existing tree to remain
- proposed deciduous tree
- ⊙ proposed shrub
- ☼ proposed perennial
- 259.96 x existing elevation
- 259.73 x proposed elevation
- min. 150mm topsoil, fine grade & sod
- C.I.P. concrete
- precaster concrete unit pavers

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PRECEDENT IMAGES



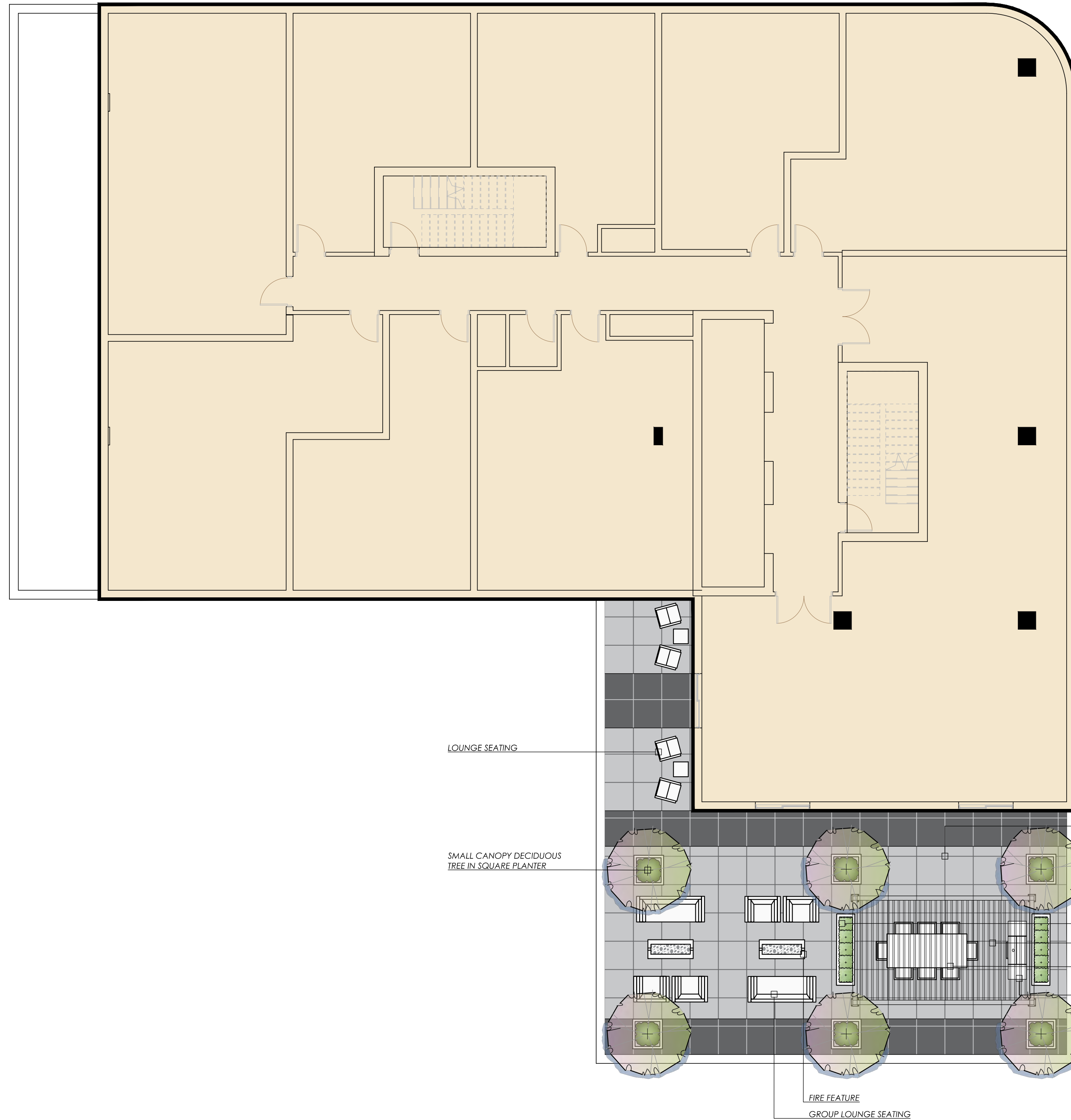
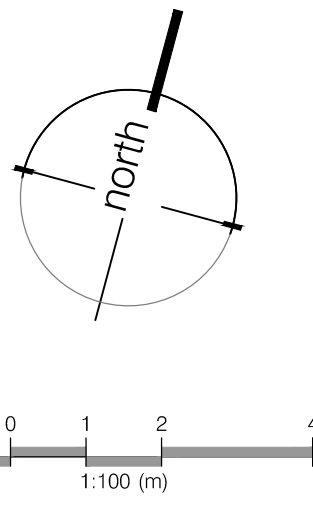
PLANT SPECIES AND TEXTURES

PRECAST UNIT PAVING FEATURE AT LOBBY ENTRANCE

PATTERNED PRECAST UNIT PAVING

ANGULAR BIKE RACK

LJM Developments: 2023-131, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.



LOUNGE SEATING

SMALL CANOPY DECIDUOUS TREE IN SQUARE PLANTER

PRECAST UNIT PAVING

RECTANGULAR PLANTER WITH BUFFER PLANTING

SHADE STRUCTURE

GROUP DINING

OUTDOOR GRILL STATION

FIRE FEATURE
GROUP LOUNGE SEATING

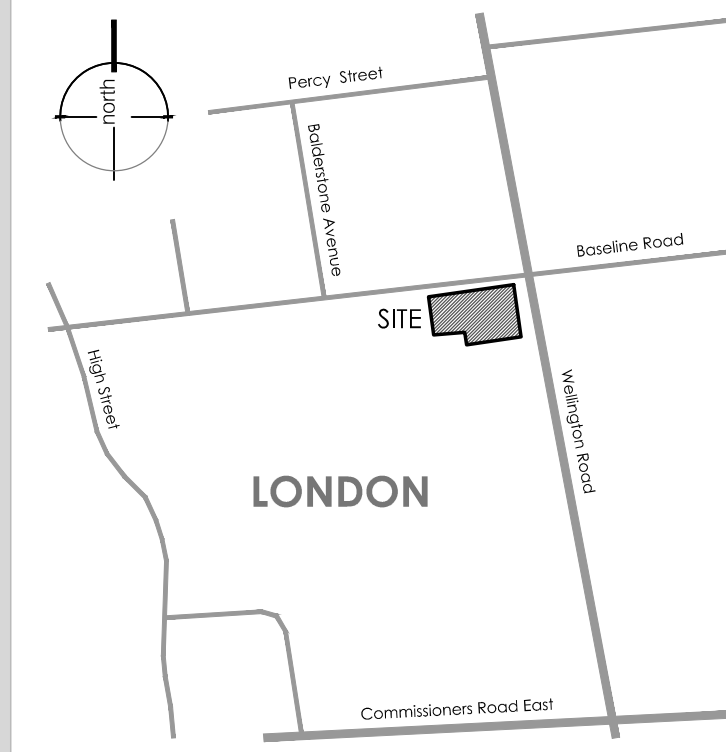
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- All support systems must be removed by the contractor at time of final acceptance. No extras will be paid to complete this work.
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- Not for construction unless stamped, signed and dated by Landscape Architect.
- Drawings not to be reproduced without written consent from Landscape Architect.
- Approval of landscape plan to be obtained from municipality.
- All plant material to be planted a minimum of 1.0m from any swales or ditches.
- For grading and servicing information refer to the consulting Engineer's drawings.
- For lighting information and power distribution refer to the electrical consultant's drawings.

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- All spray heads shall have pressure regulating devices.
- The client shall be responsible for provision of 110 VAC power within 1 meter of the irrigation controller location.
- The irrigation contractor shall be responsible for the supply and installation of a 2" backflow preventer to the local plumbing code inside of the utility room.
- Mechanical Contractor to provide a 2" size water source complete with stub at the point of connection.
- The irrigation design is based on a static water pressure of 65 psi at the point of connection.

KEY MAP - N.T.S.



LEGEND

- property line
- proposed deciduous tree
- proposed shrub
- proposed perennial
- precast concrete unit pavers

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