

**Scoped Heritage Impact Assessment
359 Wellington Road & 657 Base Line Road East
City of London, Ontario**

Prepared for:

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Project No: 2023-348

Final Report: December 5, 2023



EXECUTIVE SUMMARY

LJM Developments (LJM) has engaged TMHC Inc. (TMHC) to produce a Scoped Heritage Impact Assessment (HIA) for the property at 359 Wellington Road in the City of London, Ontario (“the Subject Property”) as part of the site plan application process for redevelopment on the property. The plans for redevelopment consist of a 23-storey condominium tower containing 250 units. The requirement for the HIA stems from the Subject Property’s adjacency to 741-779 Base Line Road East (the London Health Sciences Centre), which is a listed property on the City of London’s Register of Cultural Heritage Resources. The property was identified as having potential historical value in a Cultural Heritage Screening Report undertaken for the Rapid Transit survey along Wellington Road. The Subject Property is an approximately 0.44-acre (ac) parcel of land situated in the southwest corner of the intersection of Wellington Road and Base Line Road East. On the east side of Wellington Street, 741-779 Base Line Road East contains a variety of institutional buildings, greenspaces, parking lots, parking garages, and a historic plaque.

The Subject Property, known as 359 Wellington Road, includes the adjacent 0.10 ac parcel at 657 Base Line Road East. While the majority of the Subject Property is vacant, 657 Base Line Road East contains a one-and-half storey mid-20th century house. The land on which the house currently sits will be redeveloped to provide primary vehicular access from Base Line Road East to the underground parking facilities and service areas to the rear (west) of the proposed condominium tower.

The London Plan outlines specific relevant heritage policy directions including:

- Policy 565: A heritage impact assessment is required for new development on, and adjacent to, heritage designated properties and properties listed on the Register to assess potential impacts and explore alternative development approaches and mitigation measures to address any impact to the cultural heritage resource and its heritage attributes;
- Policy 586: The City shall not permit development and site alteration on adjacent lands to heritage designated properties or properties listed on the Register except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the heritage designated properties or properties listed on the Register will be conserved; and
- Policy 606: Development and site alteration on adjacent lands to a cultural heritage landscape shall not be permitted except where the proposed development and site alteration has been evaluated through a heritage impact assessment and it has been demonstrated that the heritage attributes of the cultural heritage landscape will be conserved.

Pursuant to City of London direction in the Record of Site Plan Consultation dated November 8, 2023, this is a scoped HIA intended to provide an assessment of the proposed development’s potential impacts on the cultural heritage value and heritage attributes of the adjacent listed property at 741-779 Baseline Road East (the London Health Sciences Centre) and to provide strategies for mitigation, if necessary. Heritage evaluation of the Subject Property is not necessary within the scoped HIA process. This report follows the general format set out in the MCM’s *InfoSheet #5: Heritage Impact Assessments and Conservation Plans*, which is included in the *Heritage Resources in the Land Use Planning Process* within the Ontario Heritage Toolkit.



There are no known potential impacts of this development to the listed heritage property at 741-779 Base Line Road East which is included on the City of London's Register of Cultural Heritage Resources. As such, no heritage mitigation strategies are recommended.



Table of Contents

Executive Summary	i
List of Images	iv
List of Maps	iv
List of Tables	iv
Project Personnel	v
Acknowledgements	v
Territorial Acknowledgement	vi
About TMHC	vii
Key Staff Bios	vii
Statement of Qualifications and Limitations	ix
Quality Information	x
1 Introduction	1
1.1 Report Scope and Purpose.....	1
1.2 Methodology.....	2
1.3 Client Contact Information.....	2
2 Site Description	3
2.1 Subject Property (359 Wellington Road).....	3
2.1.1 Location and Physical Description	3
2.2 Adjacent Property (741-779 Base Line Road East)	3
2.2.1 Location and Physical Description	3
2.2.2 Heritage Status	4
3 Description and Purpose of Proposed Activity	9
4 Assessment of Existing Conditions	12
4.1 Subject Property (359 Wellington Road).....	12
4.2 Adjacent Property (741-779 Base Line Road East).....	15
5 Policy Context	18
5.1 Ontario Heritage Act (OHA 2005)	18
5.2 Planning Act (1990)	19
5.3 Provincial Policy Statement (PPS 2020)	19
5.4 The London Plan (City of London Official Plan 2016)	20
5.5 Rapid Transit and Urban Corridors (2019).....	21
6 Impact Assessment	24
7 Considered Alternatives and Mitigation Measures	26
8 Conclusion	27
9 Bibliography	28



LIST OF IMAGES

Image 1: Cobalt Teletherapy Unit Plaque.....	5
Image 2: Site Plan for the Proposed Development	10
Image 3: Massing for the Proposed Development.....	11
Image 4: Subject Property Showing the Vacant Lot with Remnant Paving	13
Image 5: Subject Property Showing the Vacant Lot with Concrete Remnants	13
Image 6: Subject Property Showing the Grassy Portion Facing Intersection	13
Image 7: Subject Property Showing Treed Boundary Line Between 359 Wellington Road and 657 Base Line Road East.....	13
Image 8: Subject Property Showing Treed Boundary Line and Adjacent Property at 657 Base Line Road East	13
Image 9: Adjacent Property at 657 Base Line Road East	13
Image 10: Residential Development to West of 657 Base Line Road East	14
Image 11: Southern Portion of Subject Property Showing Commercial Plazas to the South and North	14
Image 12: Adjacent Commercial Plaza, West Side of Wellington Road	14
Image 13: Intersection of Base Line Road East and Wellington Road	14
Image 14: Wellington Road, East Side.....	14
Image 15: Hospital Buildings, Parking Garage and Parking Lots.....	16
Image 16: London Health Sciences Centre.....	16
Image 17: Ronald McDonald House Charities	16
Image 18: Lawson House	16
Image 19: London Health Sciences Centre from Wellington Road and Commissioners Road East.....	16
Image 20: Landscaped Greenspace and Parking Garage.....	16
Image 21: Landscaped Area, Intersection of Base Line Road East and Wellington Road	17
Image 22: Intersection of Base Line Road East and Wellington Road	17
Image 23: Landscaped Greenspace, Northeast Corner of Adjacent Heritage Property	17

LIST OF MAPS

Map 1: Location Map 359 Wellington Road	6
Map 2: Location Map Showing 359 Wellington Road and the Adjacent Property at 741-779 Base Line Road East.....	7
Map 3: Existing Features of 359 Wellington Road and the Adjacent Property at 657 Base Line Road East.....	8
Map 4: Wellington Gateway Project Area.....	23

LIST OF TABLES

Table I: 359 Wellington Road Impact Assessment.....	25
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PROJECT PERSONNEL

Principal	Holly Martelle, PhD
Senior Reviewer	Josh Dent, PhD, CAHP
Project Manager	Joan Crosbie, MA, CAHP
Cultural Heritage Specialist	Elizabeth Edwards, MA, CAHP Intern
Project Administrators	Kellie Theaker, CHRP Sara Harvey
Health and Safety Coordinator	Wendi Jakob, CTech, CAPM
GIS Technicians	Andrew Turner, BA John Moody, PhD

ACKNOWLEDGEMENTS

City of London	Mike Greguol, Senior Planner
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TERRITORIAL ACKNOWLEDGEMENT

The Subject Property is located on the traditional lands of the Anishinaabek (Ah-nish-in-a-bek), Haudenosaunee (Ho-den-no-show-nee), Lūnaapéewak (Len-ahpay-wuk), and Attawandaron (Add-a-won-da-run) peoples, on lands connected with the London Township Treaty of 1796 and the Dish with One Spoon Covenant Wampum. This land continues to be home to diverse Indigenous peoples (e.g., First Nations and Métis) who are contemporary stewards of the land.



ABOUT TMHC

Established in 2003 with a head office in London, Ontario, TMHC Inc. (TMHC) provides a broad range of archaeological assessment, heritage planning and interpretation, cemetery, and community consultation services throughout the Province of Ontario. We specialize in providing heritage solutions that suit the past and present for a range of clients and intended audiences, while meeting the demands of the regulatory environment. Over the past two decades, TMHC has grown to become one of the largest privately-owned heritage consulting firms in Ontario and is today the largest predominately woman-owned Cultural Resource Management (CRM) business in Canada.

Since 2004, TMHC has held retainers with Infrastructure Ontario, Hydro One, the Ministry of Transportation, Metrolinx, the City of Hamilton, the City of Barrie, and Niagara Parks Commission. In 2013, TMHC earned the Ontario Archaeological Society's award for Excellence in CRM. Our seasoned expertise and practical approach have allowed us to manage a wide variety of large, complex, and highly sensitive projects to successful completion. Through this work, we have gained corporate experience in helping our clients work through difficult issues to achieve resolution.

TMHC is skilled at meeting established deadlines and budgets, maintaining a healthy and safe work environment, and carrying out quality heritage activities to ensure that all projects are completed diligently and safely. Additionally, we have developed long-standing relationships of trust with Indigenous and descendent communities across Ontario and a good understanding of community interests and concerns in heritage matters, which assists in successful project completion.

TMHC is a Living Wage certified employer with the [Ontario Living Wage Network](#) and a member of the [Canadian Federation for Independent Business](#).

KEY STAFF BIOS

Holly Martelle, PhD – Principal

Holly Martelle earned a PhD from the University of Toronto based on her research on Iroquoian populations in southern Ontario. In addition to 16 years of experience in the road building and aggregate industries, Dr. Martelle has worked as a Heritage Planner at the now MCM and has taught at several universities throughout the province. In 2003, she founded TMHC with Dr. Peter Timmins and in 2013 the firm was honored with the Ontario Archaeological Society's award for Excellence in Cultural Resource Management.

Holly is an experienced Project Manager and has demonstrated throughout her career the ability to manage complex projects, meeting project deliverables cost effectively and to the highest standard of quality. Under her leadership, TMHC has made a commitment to innovation, creating solutions that meet the project specific goals and also address the long-term needs of our clients.

Holly is a skilled relationship builder with longstanding relationships with the Indigenous communities throughout Ontario, and other Descendant communities and organizations including the Ontario Black History Society. Ongoing and sustained communication with communities has proven an effective means of ensuring participation from Descendant communities in meeting and exceeding consultation requirements. Through her work on several high level and sensitive provincial projects she has developed an understanding



of what works in the consultation process to ensure that it is effective in providing the client and the project with the information needed to be successful.

Holly is a Past-President of the Ontario Archaeological Society, and is also an active member of the Canadian Archaeological Association, the Society for Historic Archaeology, the Ontario Association for Impact Assessment, and the Council for Northeastern Historical Society.

Joshua Dent, PhD, CAHP – Manager – Community Engagement & Heritage Division

Joshua (Josh) has worked extensively on cultural heritage and archaeological assessments in Ontario and Western Canada. Josh's role at TMHC has involved background research, community consultation, report production, and project management. Josh specializes in multi-faceted heritage studies including large-scale inventories, environmental assessments, and complex institutional assessments. In his role at TMHC, he regularly communicates with Indigenous communities and a variety of heritage stakeholders. These efforts were recently recognized as part of the Oakville Harbour Cultural Heritage Landscape Strategy Implementation which received the Canadian Association of Heritage Professionals' 2021 Award of Merit for Documentation & Planning. He has volunteered extensively with the heritage community in London, Ontario, in both municipal and not-for-profit roles. Josh is professional member of the Canadian Association of Heritage Professionals (CAHP).

Joan Crosbie, MA, CAHP – Manager – Cultural Heritage

Joan has extensive cultural heritage management experience in both the private and public sectors with a strong background in preservation services, built and landscape heritage assessment, archival/historical research, and Museums services. She earned her MA in Architectural History from York University. In her role in Preservation Services with the Toronto Historical Board (City of Toronto), Joan was part of a small team of professionals who advised City Council on a broad range of heritage preservation and planning matters. Later, as Curator of Casa Loma, she gained extensive experience as part of the Senior Management team and honed her skills in cultural and community engagement and was a key staff liaison with the restoration architects and skilled trades as the Casa Loma Estate underwent a major exterior restoration program. More recently, as Manager of Culture and Community Services, Town of Whitchurch-Stouffville, Joan managed the Heritage and Museums services portfolios and has widened her experience in cultural planning to include the adaptive reuse of heritage buildings and historic main street revitalization.

She has published articles on architecture and architectural preservation for a wide range of organizations, including the Canadian Society for Industrial Heritage, the City of Toronto and the Society for the Study of Architecture in Canada.



STATEMENT OF QUALIFICATIONS AND LIMITATIONS

The attached Report (the “Report”) has been prepared by Timmins Martelle Heritage Consultants Inc. (TMHC) for the benefit of the Client (the “Client”) in accordance with the agreement between TMHC and the Client, including the scope of work detailed therein (the “Agreement”).

The information, data, recommendations and conclusions contained in the Report (collectively, the “Information”):

- is subject to the scope, schedule, and other constraints and limitations in the Agreement and the qualifications contained in the Report (the “Limitations”);
- represents TMHC’s professional judgment in light of the Limitation and industry standards for the preparation of similar reports;
- may be based on information provided to TMHC which has not been independently verified;
- has not been updated since the date of issuance of the Report and its accuracy is limited to the time period and circumstances in which it was collected, processed, made or issued;
- must be read as a whole and section thereof should not be read out of such context; and
- was prepared for the specific purposes described in the Report and the Agreement.

TMHC shall be entitled to rely upon the accuracy and completeness of information that was provided to it and has no obligation to update such information. TMHC accepts no responsibility for any events or circumstances that may have occurred since the date on which the Report was prepared and, in the case of subsurface, environmental or geotechnical conditions, is not responsible for any variability in such conditions, geographically or over time.

TMHC agrees that the Report represents its professional judgement as described above and that the Information has been prepared for the specific purpose and use described in the Report and the Agreement, but TMHC makes no other representations, or any guarantees or warranties whatsoever, whether express or implied, with respect to the Report, the Information or any part thereof.

Except (1) as agreed to in writing by TMHC and Client; (2) as required by-law; or (3) to the extent used by governmental reviewing agencies for the purpose of obtaining permits or approvals, the Report and the Information may be used and relied upon only by Client.

TMHC accepts no responsibility, and denies any liability whatsoever, to parties other than Client who may obtain access to the Report or the Information for any injury, loss or damage suffered by such parties arising from their use of, reliance upon, or decisions or actions based on the Report or any of the Information (“improper use of the Report”), except to the extent those parties have obtained the prior written consent of TMHC to use and rely upon the Report and the Information. Any injury, loss or damages arising from improper use of the Report shall be borne by the party making such use.

This Statement of Qualifications and Limitations is attached to and forms part of the Report and any use of the Report is subject to the terms hereof.



QUALITY INFORMATION

J. E. Crosbie

Report prepared by:

Joan Crosbie, MA, CAHP
Project Manager

Report reviewed by:

Joshua Dent

Joshua Dent, PhD, CAHP
Senior Reviewer

Report reviewed by:

Holly Martelle

Holly Martelle, PhD
Principal



I INTRODUCTION

I.1 Report Scope and Purpose

LJM Developments (LJM) has engaged TMHC Inc. (TMHC) to produce a Scoped Heritage Impact Assessment (HIA) for the property at 359 Wellington Road in the City of London, Ontario (“the Subject Property”) as part of the site plan application process for redevelopment on the property. The plans for redevelopment consist of a 23-storey condominium tower containing 250 units. The requirement for the HIA stems from the Subject Property’s adjacency to 741-779 Base Line Road East (the London Health Sciences Centre), which is a listed property on the City of London’s Register of Cultural Heritage Resources. The property was identified as having potential historical value in a Cultural Heritage Screening Report undertaken for the Rapid Transit survey along Wellington Road. The Subject Property is an approximately 0.44-acre (ac) parcel of land situated in the southwest corner of the intersection of Wellington Road and Base Line Road East. On the east side of Wellington Street, 741-779 Base Line Road East contains a variety of institutional buildings, greenspaces, parking lots, parking garages, and a historic plaque.

The Subject Property, known as 359 Wellington Road, includes the adjacent 0.10 ac parcel at 657 Base Line Road East. While the majority of the Subject Property is vacant, 657 Base Line Road East contains a one-and-half storey mid-20th century house. The land on which the house currently sits will be redeveloped to provide primary vehicular access from Base Line Road East to the underground parking facilities and service areas to the rear (west) of the proposed condominium tower.

The London Plan outlines specific relevant heritage policy directions including:

- Policy 565: A heritage impact assessment is required for new development on, and adjacent to, heritage designated properties and properties listed on the Register to assess potential impacts and explore alternative development approaches and mitigation measures to address any impact to the cultural heritage resource and its heritage attributes;
- Section 586: The City shall not permit development and site alteration on adjacent lands to heritage designated properties or properties listed on the Register except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the heritage designated properties or properties listed on the Register will be conserved; and
- Section 606: Development and site alteration on adjacent lands to a cultural heritage landscape shall not be permitted except where the proposed development and site alteration has been evaluated through a heritage impact assessment and it has been demonstrated that the heritage attributes of the cultural heritage landscape will be conserved.

This HIA was triggered as part of a site plan application for the construction of a condominium tower on the property. Pursuant to City of London direction in the Record of Site Plan Consultation dated November 8, 2022, this is a scoped HIA intended to provide an assessment of the proposed development’s potential impacts on the cultural heritage value and heritage attributes of the adjacent listed property at 741-779 Base Line Road East (the London Health Sciences Centre) and to provide strategies for mitigation, if necessary. Heritage evaluation of the Subject Property is not necessary within the scoped HIA process.



1.2 Methodology

This HIA was prepared in accordance with the general format set out in the MCM's *InfoSheet #5: Heritage Impact Assessments and Conservation Plans*, which is included in the resource *Heritage Resources in the Land Use Planning Process* within the Ontario Heritage Toolkit. For the purposes of preparing this report, TMHC staff visited the Subject Property on November 24, 2023. Pursuant to City of London direction in the Record of Site Plan Consultation dated November 8, 2023, this HIA was scoped to focus on potential impacts and possible mitigations with respect to the adjacent listed heritage property at 741-779 Base Line Road East.

A full list of referenced sources is included in Section 9 of this HIA.

1.3 Client Contact Information

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annas@ljmdevelopments.ca



2 SITE DESCRIPTION

2.1 Subject Property (359 Wellington Road)

2.1.1 Location and Physical Description

The Subject Property is located in the central portion of the City of London, south of the Thames River, in an area that features institutional, commercial, and residential areas and pockets of intensification, including high rise residential and commercial development. Much of this recent intensification is centered around the intersection of Wellington Road and Base Line Road East in advance of the planned Rapid Transit expansion along Wellington Road between the Downtown and Highway 401. To the west of the Subject Property are a variety of residential buildings and, to the south, are low-rise commercial developments. To the southeast is the neighbourhood of Westminster, centred on the Westminster Ponds. Established residential subdivisions associated with the neighbourhoods of South London and Glen Cairn are located to the northwest and northeast of the Subject Property, respectively. On the east side of Wellington Road, extending south to Commissioner's Road East, is the London Health Sciences Centre.

The 0.44 ac Subject Property consists of both 359 Wellington Road and 657 Base Line Road East and is situated on the southwest corner of the intersection of Base Line Road East and Wellington Road and is currently vacant. The 657 Base Line Road East parcel comprises 0.10 ac and contains a one-and-a-half storey detached house. This building will be demolished as part of the redevelopment plans and the land will be incorporated into the proposed project.

Neither the 359 Wellington Road nor 657 Base Line Road East are included on the City of London's Register of Cultural Heritage Resources.

2.2 Adjacent Property (741-779 Base Line Road East))

2.2.1 Location and Physical Description

The property at 741-779 Base Line Road East is located in the southcentral portion of the City of London and shares general neighbourhood contextual features with the Subject Property. The property contains the London Health Sciences Centre complex and is situated on the southeast corner of the intersection of Wellington Road and Base Line Road East. To the south, the property is bound by Commissioners Road East and by a railway corridor and narrow green belt to the east. The south side of Commissioners Road East, east of Wellington Road, is dominated by the Parkwood Institute (St. Joseph's Healthcare) and, to the southeast, Glen Cairn Park and the Westminster Ponds/Pond Mills Conservation Area.

The property at 741-779 Base Line Road East contains institutional buildings and structures associated with the operations of London Health Sciences Centre. While most buildings are set within the central portion of the lot, Ronald McDonald House Charities and London Health Sciences Foundation front onto Base Line Road East. The northern and southern boundaries of the complex are dominated by grade-level parking lots, and the western periphery features grade-level parking lots and, in the northwest portion, an above ground multi-storey parking garage. The structures in the western portion of the lot are set back from Wellington Road by a landscaped and treed boundary.



Internal roads connect the complex to Base Line Road East, to the north, and to Commissioners Road East, to the south. A London Hydro substation is located at 715 Base Line Road and is not considered part of the listed property.

2.2.2 Heritage Status

The property at 741-779 Base Line Road East was listed on the City of London Register of Cultural Heritage resources on March 27, 2018. While no listing description is available, City of London staff have advised that the property was identified in a Cultural Heritage Screening Report undertaken for the Rapid Transit survey along Wellington Road.

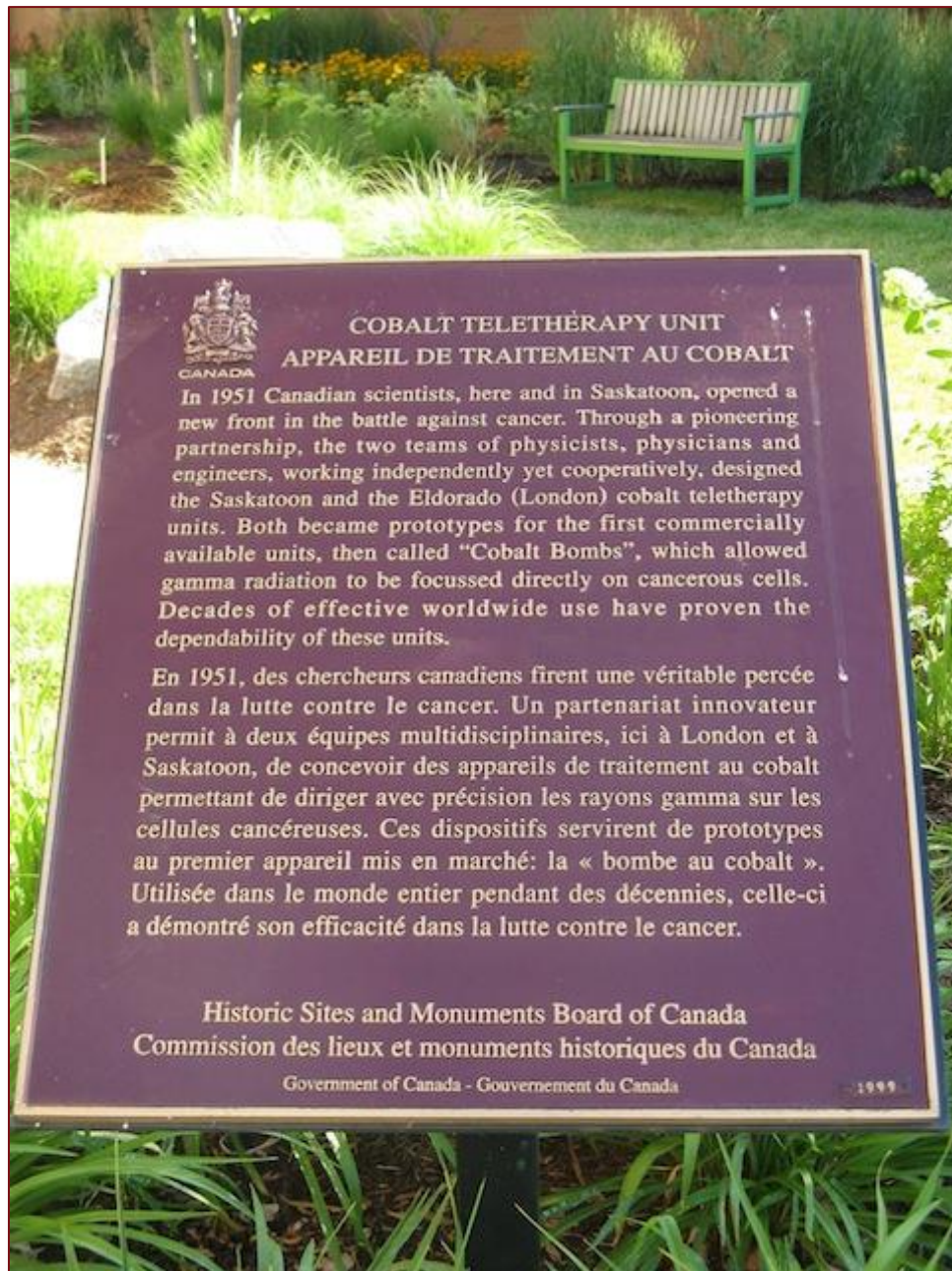
Historically, the London Health Sciences Centre has its roots in the early hospitals of London, Ontario. Founded in 1875 on South Street, London Hospital was renamed Victoria Hospital in 1899. In the early 1970's Victoria Hospital acquired the former Veterans Hospital and the lands and buildings north and south of Commissioners Road in anticipation of future expansion.¹ The Victoria Hospital amalgamated with Westminster Hospital in 1977 and, in 2013, the facility moved to its current location at Wellington Street and Commissioners Road East.

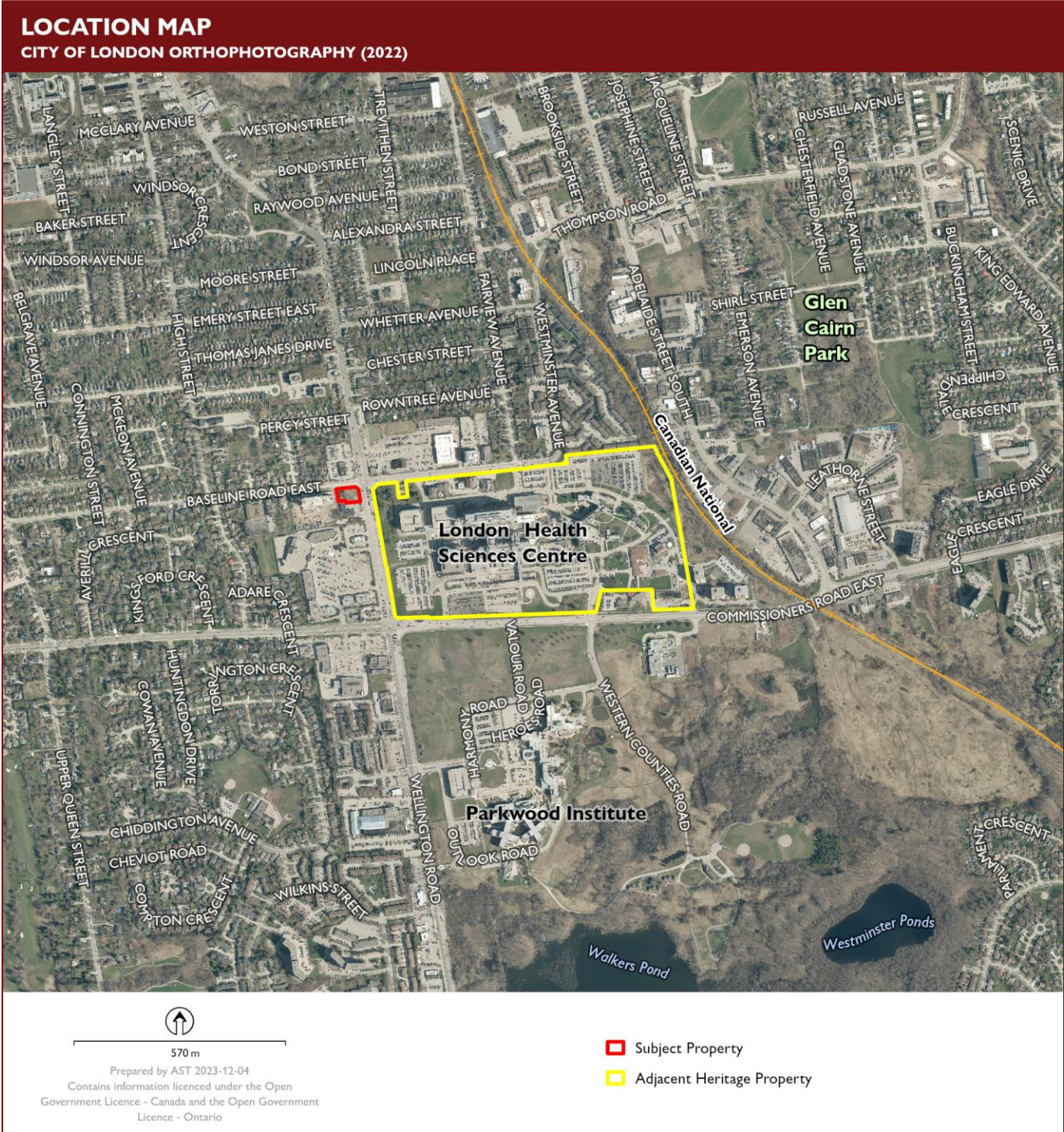
In 1996, the property was identified for its significance in the development of the Cobalt-60 Beam Therapy Unit. It was recognized with a Historic Sites and Monuments Act plaque, located at 790 Commissioners Road (Image 1).

¹ London Health Sciences Centre, n.d.

Image I: Cobalt Teletherapy Unit Plaque

Ontario's Historical Plaques





Map I: Location Map 359 Wellington Road



Map 2: Location Map Showing 359 Wellington Road and the Adjacent Property at 741-779 Baseline Road East



Map 3: Existing Features of 359 Wellington Road and the Adjacent Property at 657 Base Line Road East



3 DESCRIPTION AND PURPOSE OF PROPOSED ACTIVITY

The Subject Property at 359 Wellington Road includes the adjacent parcel at 657 Base Line Road East and is the site of a proposed 23-storey condominium development. The proposed demolition of the house on the property at 657 Base Line Road East will allow for vehicular access from Base Line Road East to the underground parking facilities and service areas at the rear (west) of the property.²

While the final design drawings have not yet been completed, the site plan depicts the proposed building as comprising a three-storey podium with a stepped back 20-storey tower. The podium is built close to the intersection of Wellington Road and Base Line Road East, and the building engages the public realm with its grade level entrances and active use areas. The podium presents a scale that is not inappropriate to that already established throughout the immediate neighbourhood and, through its rounded northeast elevation, under which is the main entrance, the building successfully addresses the intersection.

² Kirkor Architects and Planners, 2023

Image 2: Site Plan for the Proposed Development

Kirkor Architects and Planners

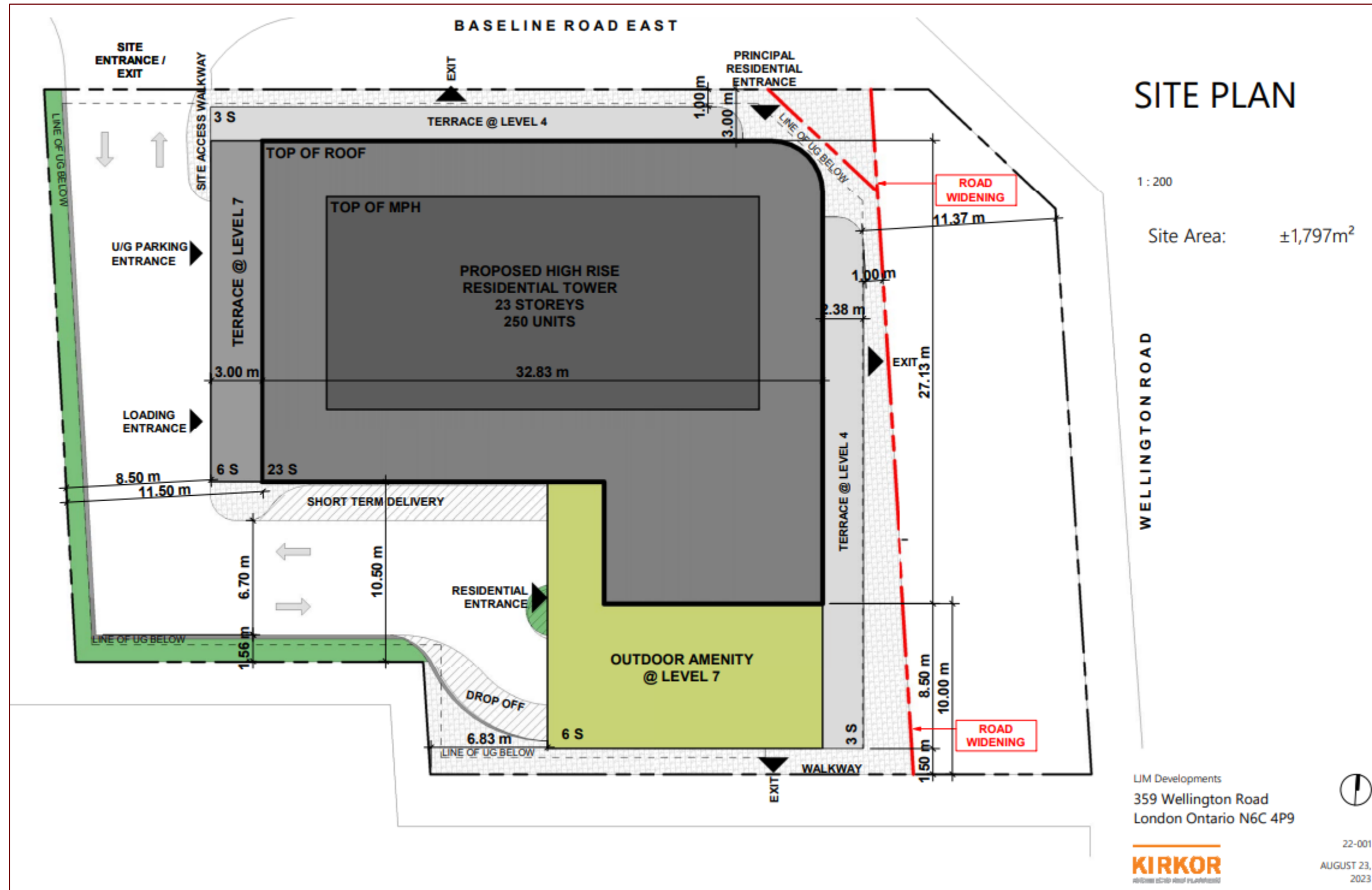
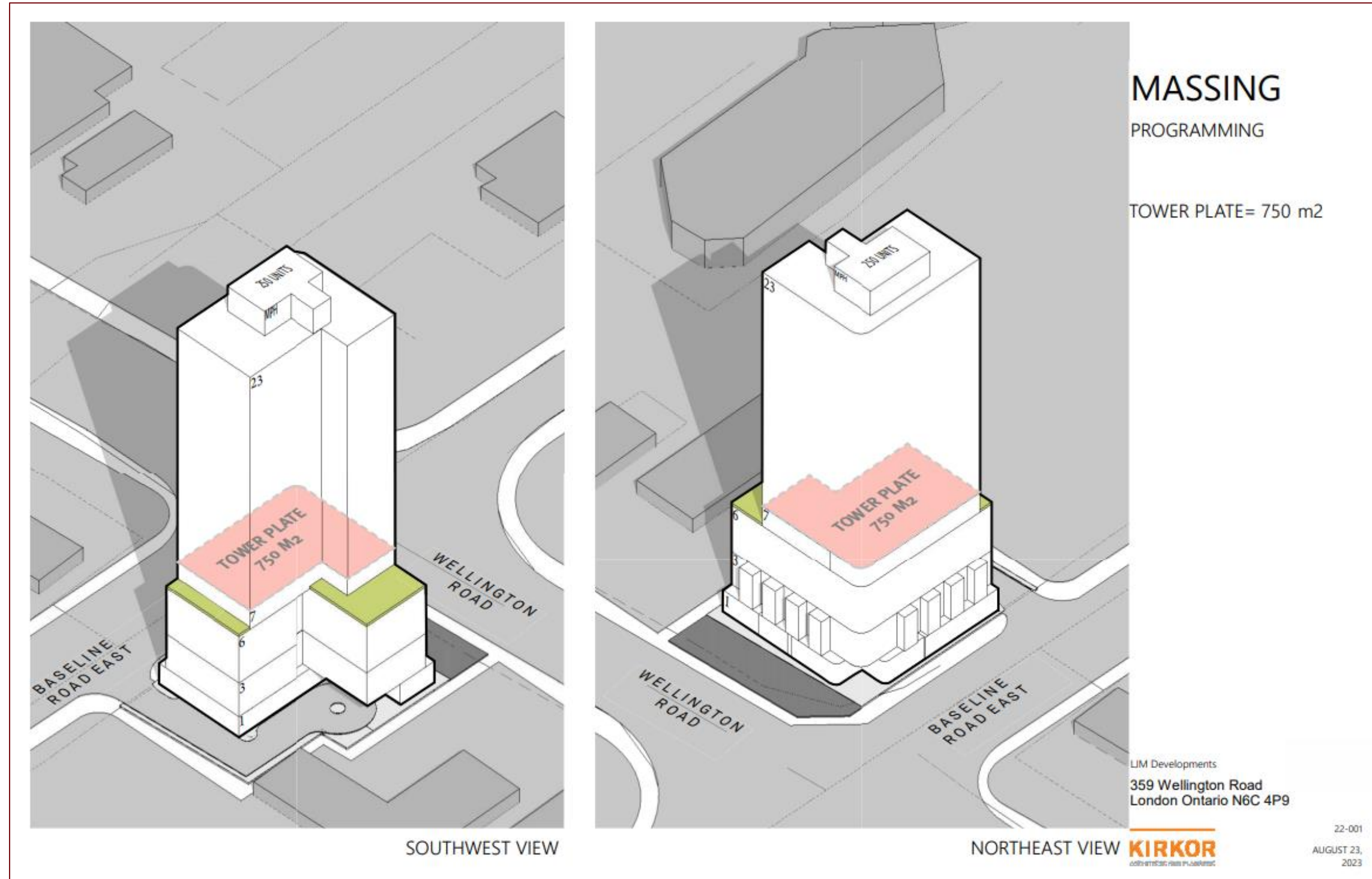


Image 3: Massing for the Proposed Development

Kirkor Architects and Planners



4 ASSESSMENT OF EXISTING CONDITIONS

A visit to the Subject Property was undertaken by Elisabeth Edwards of TMHC on November 24, 2023 to document its existing conditions. The photographs in this section represent the current conditions of the Subject Property.

4.1 Subject Property (359 Wellington Road)

The Subject Property comprises 359 Wellington Road and 657 Base Line Road East. There are no structures on the bulk of the Subject Property as it has been cleared for the proposed development and while largely covered by grass, some paved and concrete portions remain (Images 4-6.) A row of mature trees and shrubs lines the former western boundary between 359 Wellington Road and the adjacent parcel at 657 Base Line Road East (Images 7-8). Beyond this is the one-and-a-half storey house that will be demolished to make way for the proposed vehicular access into the condominium development (Image 9). To the immediate west of the house is a contemporary multi-story residential complex (Image 10). To the south are low rise commercial buildings (Images 11-12). The north and east are bound by Base Line Road East (Image 13) and Wellington Road (Image 14) which are multi-laned traffic corridors.

Image 4: Subject Property Showing the Vacant Lot with Remnant Paving

Looking South



Image 6: Subject Property Showing the Grassy Portion Facing Intersection

Looking Northeast

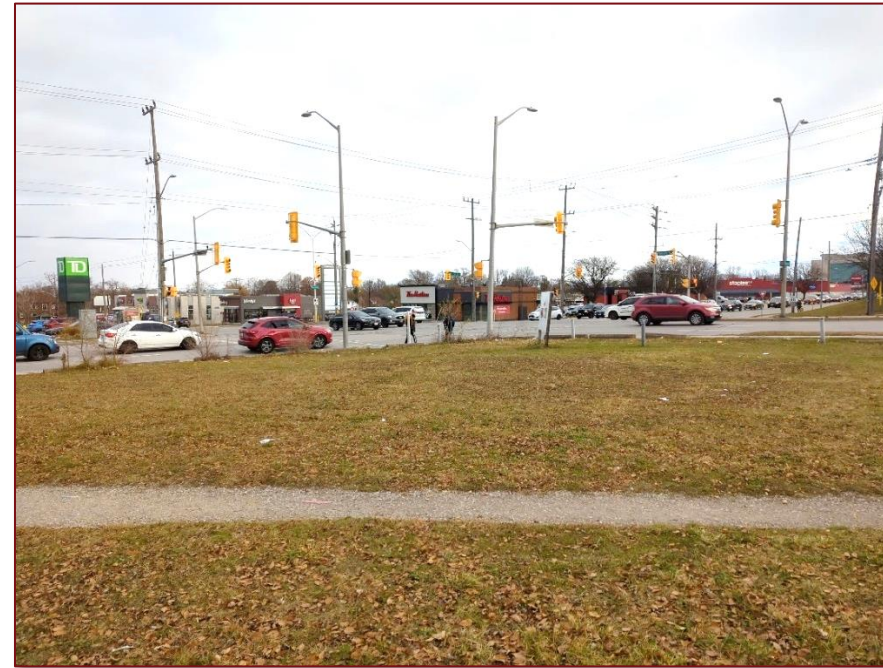


Image 8: Subject Property Showing Treed Boundary Line and Adjacent Property at 657 Base Line Road East

Looking West



Image 5: Subject Property Showing the Vacant Lot with Concrete Remnants

Looking Southwest



Image 7: Subject Property Showing Treed Boundary Line Between 359 Wellington Road and 657 Base Line Road East

Looking West



Image 9: Adjacent Property at 657 Base Line Road East

Looking South



Image 10: Residential Development to West of 657 Base Line Road East

Looking West



Image 12: Adjacent Commercial Plaza, West Side of Wellington Road

Looking East



Image 14: Wellington Road, East Side

Looking South



Image 11: Southern Portion of Subject Property Showing Commercial Plazas to the South and North

Looking Northwest



Image 13: Intersection of Base Line Road East and Wellington Road

Looking Southeast





4.2 Adjacent Property (741-779 Base Line Road East)

To the east of the Subject Property, the adjacent listed heritage property at 741-779 Base Line Road contains the London Health Sciences Centre. This parcel features a variety of institutional building, largely located within the centre of the property (Images 15-16). The portion of the property fronting Base Line Road East contains several individual low-rise buildings, including Ronald McDonald House and Lawson House (Images 17-18). The southern periphery of the property, along Commissioners Road East, features grassy lands and grade level parking lots (Image 19).

The western periphery of the complex, east of Wellington Road, is set back beyond a wide landscaped area and contains grade level parking lots and, in the northwest portion of the property, a multi-storey parking garage (Image 20). The northwest portion of the parcel features a deep landscaped area with a grassy berm and mature coniferous and deciduous trees that provide a physical and visual buffer from the intersection (Images 21-23).

Image 15: Hospital Buildings, Parking Garage and Parking Lots
Looking East



Image 17: Ronald McDonald House Charities
Looking Southeast



Image 19: London Health Sciences Centre from Wellington Road and Commissioners Road East
Looking Northeast



Image 16: London Health Sciences Centre
Looking Southeast



Image 18: Lawson House
Looking Southeast

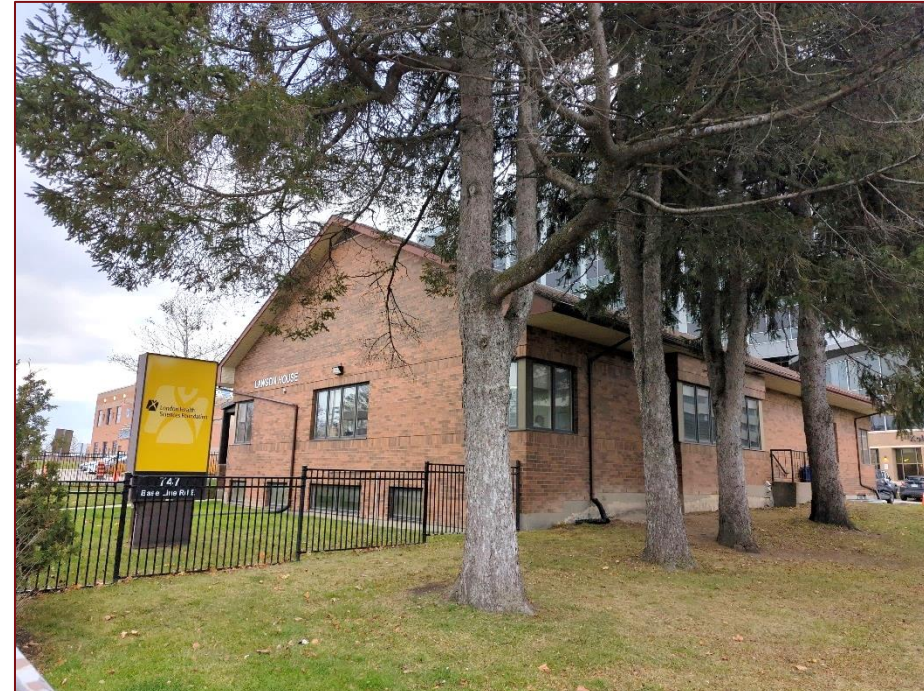


Image 20: Landscaped Greenspace and Parking Garage
Looking Northeast



Image 21: Landscaped Area, Intersection of Base Line Road East and Wellington Road

Looking Southeast



Image 23: Landscaped Greenspace, Northeast Corner of Adjacent Heritage Property

Looking North



Image 22: Intersection of Base Line Road East and Wellington Road

Looking South



5 POLICY CONTEXT

5.1 Ontario Heritage Act (OHA 2005)

The *Ontario Heritage Act (OHA)* provides a framework for municipalities in Ontario to ensure the conservation of properties with cultural heritage value or interest, including through the capacity to designate heritage properties:

29 (1) The council of a municipality may, by by-law, designate a property within the municipality to be of cultural heritage value or interest if:

- (a) where criteria for determining whether property is of cultural heritage value or interest have been prescribed, the property meets the prescribed criteria; and
- (b) the designation is made in accordance with the process set out in this section.

Under the *OHA*, O.Reg. 9/06 (as amended by O.Reg. 569/22) provides the criteria for determining a property's cultural heritage value or interest:

(3) In respect of a property for which a notice of intention to designate it is given under Subsection 29 (1.1) of the Act on or after the day Subsection 3 (2) of Schedule 6 to the *More Homes Built Faster Act, 2022* comes into force, the property may be designated under Section 29 of the Act if it meets two or more of the criteria for determining whether it is of cultural heritage value or interest set out in paragraphs 1 to 9 of Subsection 1 (2).

Designated properties appear on a municipality's register of heritage properties:

27 (1) The clerk of a municipality shall keep a register of property situated in the municipality that is of cultural heritage value or interest.

This register also may include so-called listed properties:

27(3) In addition to the property listed in the register under Subsection (2) [designated properties], the register may include property that has not been designated under this Part if,

- (a) the council of the municipality believes the property to be of cultural heritage value or interest; and
- (b) where criteria for determining whether property is of cultural heritage value or interest have been prescribed for the purposes of this subsection, the property meets the prescribed criteria.

The criteria for both listing and designation are as follows according to s.1(2) of O. Reg. 9/06 (as amended by O.Reg. 569/22):

1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.



3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement.
4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community.
5. The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.
6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.
7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.
8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.
9. The property has contextual value because it is a landmark.

According to Part V of the OHA, a municipality may also undertake studies regarding (OHA s.40), designate (OHA s.40), and develop plans for (OHA s.41) heritage conservation districts (HCDs). These are areas of heritage significance composed of multiple properties.

Part VI of the OHA addresses the protection of archaeological resources.

As of January 2023, at least 25% of properties within the proposed HCD must meet two or more of the O.Reg. 9/06 criteria (as amended by O.Reg.569/22).

5.2 Planning Act (1990)

The *Planning Act* is a piece of provincial legislation that provides stipulations for the land use planning process in Ontario, such as the identification of provincial interests and tools for the responsible management of resources including cultural heritage and archaeological resources:

2. The minister, the council of a municipality, a local board, a planning board and the Tribunal, in carrying out their responsibilities under this Act, shall have regard to, among other matters, matters of provincial interest such as:
 - (d) the conservation of features of significant architectural, cultural, historical, archaeological or scientific interest.

Section 3 of the *Planning Act* indicates that all decisions affecting land use planning matters “shall be consistent with” the *Provincial Policy Statement* (PPS), a document that identifies matters of provincial interest to be considered during land use planning.

5.3 Provincial Policy Statement (PPS 2020)

The following sections of the PPS 2020 are relevant to the Subject Property.

Section 2.6 identifies the following relevant policies related to cultural heritage and archaeology:



2.6.1 Significant built heritage resources and significant cultural heritage landscapes shall be conserved;

2.6.2 Development and site alteration shall not be permitted on lands containing archaeological resources or areas of archaeological potential unless significant archaeological resources have been conserved;

2.5.3 Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved;

2.6.4 Planning authorities should consider and promote archaeological management plans and cultural plans in conserving cultural heritage and archaeological resources; and

2.6.5 Planning authorities shall engage with Indigenous communities and consider their interests when identifying, protecting and managing cultural heritage and archaeological resources.

Section 6.0 provides the following definitions relevant to the Subject Property:

- **Built heritage resource:** means a building, structure, monument, installation or any manufactured or constructed part or remnant that contributes to a property's cultural heritage value or interest as identified by a community, including an Indigenous community. Built heritage resources are located on property that may be designated under Parts IV or V of the *Ontario Heritage Act*, or that may be included on local, provincial, federal and/or international registers.
- **Heritage attributes:** means the principal features or elements that contribute to a protected heritage property's cultural heritage value or interest, and may include the property's built, constructed, or manufactured elements, as well as natural landforms, vegetation, water features, and its visual setting (e.g., significant views or vistas to or from a protected heritage property).
- **Conserved:** means the identification, protection, management and use of the built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/or heritage impact assessment that has been approved, accepted or adopted by the relevant planning authority and/or decision-maker. Mitigative measures and/or alternative development approaches can be included in these plans and assessments.

5.4 The London Plan (City of London Official Plan 2016)

The London Plan outlines specific policy directions for community development and cultural heritage aimed to:

- Protect our built and cultural heritage, to promote our unique identity and develop links to arts and eco-tourism in the London region (Direction #3:7); and
- Protect what we cherish by recognizing and enhancing our cultural identity, cultural heritage resources, neighborhood character, and environmental features (Direction #7:5).



Under “City Building Policies”, specific goals for cultural heritage are provided, whereby the City will:

1. Promote, celebrate, and raise awareness and appreciation of London’s cultural heritage resources;
2. Conserve London’s cultural heritage resources so they can be passed on to our future generations; and
3. Ensure that new development and public works are undertaken to enhance and be sensitive to our cultural heritage resources.

Policies are provided to demonstrate the City’s approach to achieving these objectives outlined above. Several policies relevant to the Study Area and proposed works and include:

- Policy 565: A heritage impact assessment is required for new development on, and adjacent to, heritage designated properties and properties listed on the register to assess potential impacts and explore alternative development approaches and mitigation measures to address any impact to the cultural heritage resources and its heritage attributes;
- Policy 586: The City shall not permit development and site alteration on adjacent lands to heritage designated properties or properties listed on the Register except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the heritage designated properties or properties listed on the Register will be conserved;
- Policy 606: Development and site alteration on adjacent lands to a cultural heritage landscape shall not be permitted except where the proposed development and site alteration has been evaluated through a heritage impact assessment and it has been demonstrated that the heritage attributes of the cultural heritage landscape will be conserved;

The London Plan confirms these guidelines in Section 577 as follows:

- Consistent with the *Provincial Policy Statement*, City Council may identify areas of the city as cultural heritage landscapes. A cultural heritage landscape is a defined geographic area that may have been modified by human activities and is identified as having cultural heritage value or interest by a community, including an Aboriginal community. The area may involve features such as structures, spaces, archaeological sites, or natural elements that are valued together for their interrelationship, meaning, or association. Such a cultural heritage landscape is valued by Londoners and is significant to an understanding of the histories of a people or place.

5.5 Rapid Transit and Urban Corridors (2019)

Under “Place Type Policies”, specific goals for Urban London include the lands contained within the Urban Growth Boundary. The place types applied to these lands include Rapid Transit Corridors, such as the Wellington Gateway, which includes some of the following goals:

- I. Plan for a mix of residential and a range of other uses along corridors to establish demand for rapid transit services;



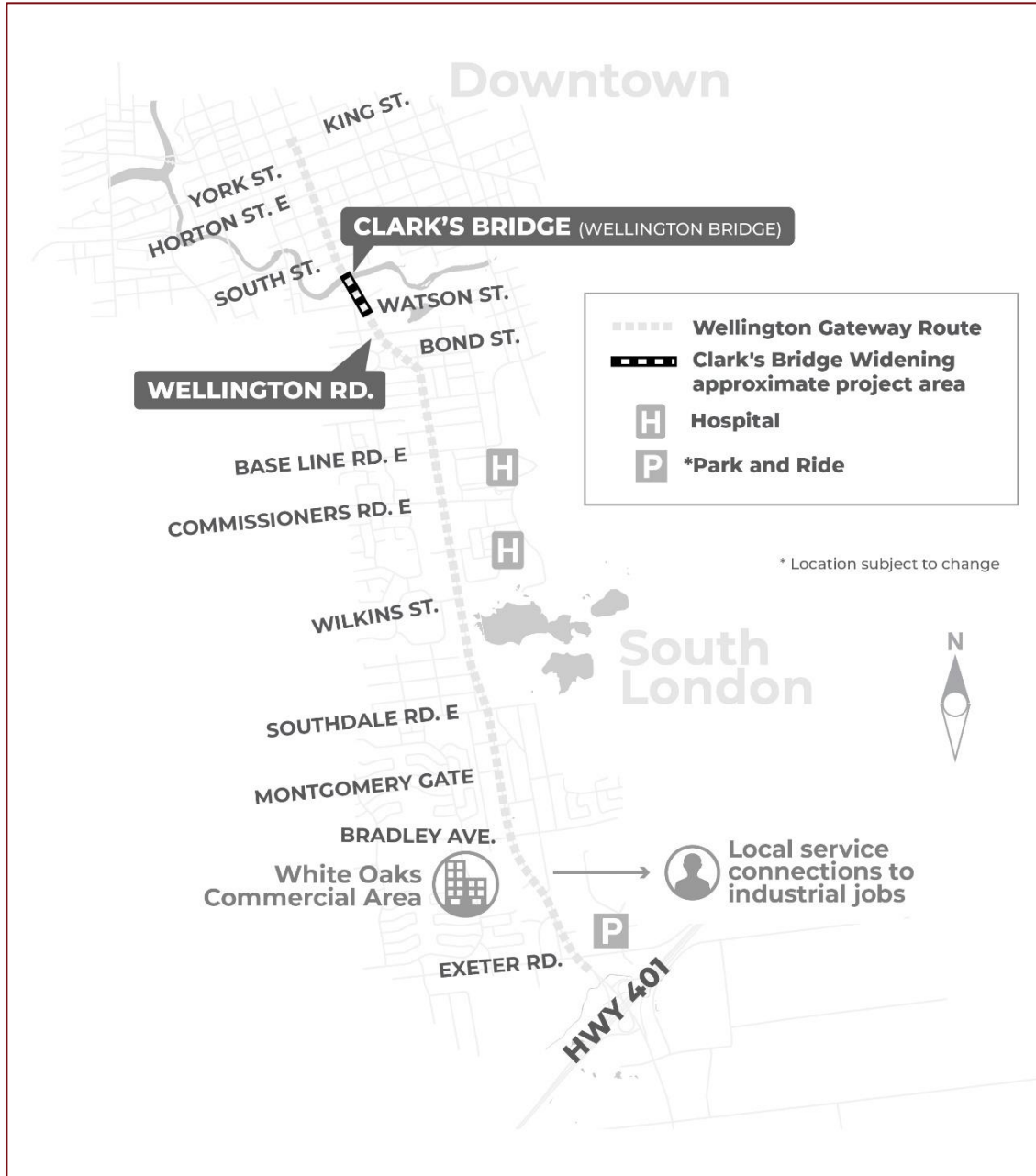
2. Allow for a wide range of permitted uses and greater intensities of development along Corridors close to rapid transit stations; and
3. Support the development of a variety of residential types, with varying locations, size, affordability, tenure, design, and accessibility so that a broad range of housing requirements are satisfied.

The London Plan confirms these guidelines in Section 789 as follows:

- Part 2: The Rapid Transit Corridors connect Downtown and Transit Villages with highly urban forms of development, allowing for a broad range of uses and moderate intensity arranged in a linear configuration along rapid transit routes. The range of uses and the intensity and form of development varies by segment.

The Wellington Gateway, containing the Subject Property, is one of three rapid transit project segments scheduled for construction between 2023 and 2027 (Map 4). Together, these transit segments will increase the frequency and reliability of transit while improving traffic capacity through:

- Widening Wellington Road to add continuous transit-only lanes;
- Revitalizing approximately 6 km of key arterial road between Downtown and Highway 401; and
- Creating a transit hub at White Oaks Mall to provide opportunities to strengthen connections with neighbouring municipalities and improve transit to south London's industrial employment areas.



Map 4: Wellington Gateway Project Area

6 IMPACT ASSESSMENT

According to the MCM's *InfoSheet #5: Heritage Impact Assessments and Conservation Plans*:

Any impact (direct or indirect, physical or aesthetic) of the proposed development or site alteration on a cultural heritage resource must be identified. The effectiveness of any proposed conservation or mitigative or avoidance measures must be evaluated on the basis of established principles, standards and guidelines for heritage conservation.

The following table includes an assessment of the proposed development against the types of potential impacts identified in *InfoSheet #5: Heritage Impact Assessments and Conservation Plans*. Any identified potential impacts should be addressed by mitigation measures, as discussed below.

The following types of potential impacts are outlined in *InfoSheet #5*:

- **Destruction** of any, or part of any, significant heritage attributes or features;
- **Alteration** that is not sympathetic, or is incompatible, with the historic fabric and appearance;
- **Shadows** created that alter the appearance of a heritage attribute or change the viability of a natural feature or plantings, such as a garden;
- **Isolation** of a heritage attribute from its surrounding environment, context or a significant relationship;
- Direct or indirect **obstruction** of significant views or vistas within, from, or of built and natural features;
- A **change in land use** such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces;
- **Land disturbances** such as a change in grade that alters soils, and drainage patterns that adversely affect an archaeological resource; and
- **Other** potential impacts.

Table 1: 359 Wellington Road Impact Assessment

Negative impact on a heritage resource	Assessment for the Subject Property
Destruction of any, or part of any, significant heritage attributes or features;	No; the proposed development at 359 Wellington Road will not destroy or have any impact on any potential heritage attributes or features on the adjacent property at 741-779 Base Line Road East. The proposed construction activities will be confined to the Subject Property.
Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance;	No; the proposed development on the Subject Property is for the construction of a new condominium building. While the development does not respect the setbacks of the established neighbourhood and exceeds the height of the buildings on the adjacent historic property, the contextual environment is undergoing (and will be expected to undergo) significant intensification as a result of its identification as a Rapid Transit Corridor. This proposed project is thus in line with future intensification and Rapid Transit plans for the Wellington Road corridor.
Shadows created that alter the appearance of a heritage attribute or change the viability of a natural feature or plantings, such as a garden;	No; is it unlikely that the proposed development will create shadows that alter the appearance of heritage attributes on the adjacent listed property, nor should they impact the viability of natural features or plantings situated on the adjacent property. As the Subject Property is situated west of the listed property, across a six-lane thoroughfare, any shadow impact from the Subject Property could be expected to take place late in the day. Any shadows cast will likely only impact the most northern portion of the listed property, where the majority of structures are limited to parking facilities. A Shadow Study has been requested by the Municipality and will be completed as part of the Urban Design Brief.
Isolation of a heritage attribute from its surrounding environment, context or a significant relationship;	No; the proposed development will not isolate any heritage attributes from their surrounding environment, context, or significant relationships. While the property at 741-779 Base Line Road East was once connected to broader natural and industrial landscapes, and later to residential subdivisions containing single-family houses, that connection is undergoing transition and intensification, in part due to the Wellington Gateway rapid transit project. As such, no contextual relationship will be impacted by the proposed development.
Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features;	No; the proposed development will not cause a direct or indirect obstruction of significant views or vistas within, from, or of built and natural features.
A change in land use such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces;	No; no change in land use will occur as a result of the proposed activity. The Subject Property will continue to be used for residential purposes although at a much greater scale.
Land disturbances such as a change in grade that alters soils, and drainage patterns that adversely affect an archaeological resource; or	No; the proposed development at 359 Wellington Road will not cause land disturbances that will result in a change of grade that will alter the soil and drainage patterns that will adversely affect an archaeological resource. A Stage 1 & 2 Archaeological Assessment completed by Amick Consultants Limited as part of this proposal confirmed that no archaeological sites or resources were found. ³ As such, the Subject Property was determined to be free of archaeological concern and no further archaeological assessment was recommended.
Other potential impacts.	No; separated from the adjacent property at 741-779 Base Line Road East by a six-lane roadway (Wellington Road), there are no additional known potential impacts to the adjacent listed heritage property at 741-779 Base Line Road East.

³ Amick Consultants Ltd. 2023



7 CONSIDERED ALTERNATIVES AND MITIGATION MEASURES

As detailed in Section 3, the Subject Property is the site of a proposed 23-storey condominium tower development. While the final designs have not been completed, the Site Plan application for the proposed development depicts a tower fronting the southwest corner of the intersection of Wellington Road and Base Line Road East.

A driveway connecting to Base Line Road East, immediately west of the proposed tower, will provide vehicular access to the underground parking facilities and service areas at the rear (west) of the property. A footpath to the south of the proposed building connects the rear of the property to Wellington Road.

There are no known potential direct or indirect impacts from this development on the adjacent listed heritage property at 741-779 Base Line Road East. As such, no mitigation measures are required.



8 CONCLUSION

LJM Developments has proposed the construction of a 23-storey condominium building containing 250 units on the property at 359 Wellington Road in the City of London. The Subject Property includes the parcels at 359 Wellington Road and 657 Base Line Road East, the latter of which will provide a vehicular access route to the rear of the property which contains a below-grade parking garage and service areas. The property is not listed on the City of London's Register of Cultural Heritage Resources. While design drawings have not been finalized, the drawings submitted as part of the site plan application show the property fronting onto the southwest corner of the intersection of Wellington Road and Base Line Road East.

The requirement for the HIA was triggered as part of a site plan application because of the Subject Property's adjacency to the property at 741-779 Baseline Road East (the London Health Sciences Centre). The property was identified as having potential historical value in a Cultural Heritage Screening Report undertaken for the Rapid Transit survey along Wellington Road. It was listed on the City of London's Register of Cultural Heritage Resources on March 27, 2018. This HIA is intended to provide an assessment of any potential impacts of the proposed development on the cultural heritage value and heritage attributes of the adjacent listed property.

There are no known potential direct or indirect impacts arising from the proposed development at 359 Wellington Road on the adjacent heritage property at 741-779 Base Line Road East. As such, no mitigation measures are required. These findings should be confirmed with the City of London prior to the commencement of any construction activity.



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