



300 Dufferin Avenue  
P.O. Box 5035  
London, ON  
N6A 4L9

August 23, 2019

**LONDON COMMITTEE OF ADJUSTMENT  
SUBMISSION NO. A.158/18**

**NOTICE OF PUBLIC HEARING UNDER SECTION 45(1) OF THE PLANNING ACT, R.S.O 1990.**

**OWNER:**

Dipietro Joseph, Dipietro Josephine Mary  
4730 Avenue Road  
London ON N6N 1E7

**AGENT:**

Storey Samways Planning Ltd (David French)  
330 Richmond Street  
Chatham ON N7M 1P7

**WARD:** 14

**LOCATION:** 4730 Avenue Road, CON 4 PT LOT 13, on the east side of Avenue Road, south of Jenedere Court.

**PURPOSE:** To permit a reduced frontage as a result of a proposed consent (B.055/18).

**VARIANCES REQUESTED:**

1. To permit a lot frontage of 20.2m (66.3'), whereas 50.0m (164.0') is the minimum lot frontage required.

**ZONING:**

Residential R1 (R1-16)

**OFFICIAL PLAN:**

Rural Settlement

**THE LONDON PLAN:**

Rural Neighbourhood

**WHEN & WHERE:**

**The Applicant and/or Authorized Agent shall attend this Hearing on Monday September 16, 2019, at 3:20pm**, Second Floor, City Hall to respond to any inquiries raised by members of the Committee or by the public. **As the applicant**, if you do not attend or are not represented at this hearing, the Committee may proceed to render a decision in your absence.

**For members of the public**, if you do not attend or are not represented at this hearing, the Committee may proceed and you will not be entitled to any further notice of the proceedings.

This is a Public Hearing and if you are aware of any person interested or affected by this application, who has not received a copy of this Notice, it would be appreciated if you would so inform them.

**NOTE:**

**COMMITTEE IS REQUIRED UNDER PROVISION OF THE PLANNING ACT OF ONTARIO, TO GIVE NOTICE OF THIS APPLICATION TO ALL ASSESSED PROPERTY OWNERS OF LAND LYING WITHIN 60 METRES (200 FEET) OF THE SUBJECT LAND.**

Written comments may be submitted to the Secretary - Treasurer prior to the hearing, and all personal information and comments will become part of the public record.

**IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE LONDON COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE SECRETARY - TREASURER.** This will also entitle you to be advised of a possible Local Planning Appeal Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the London Committee of Adjustment decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the public.

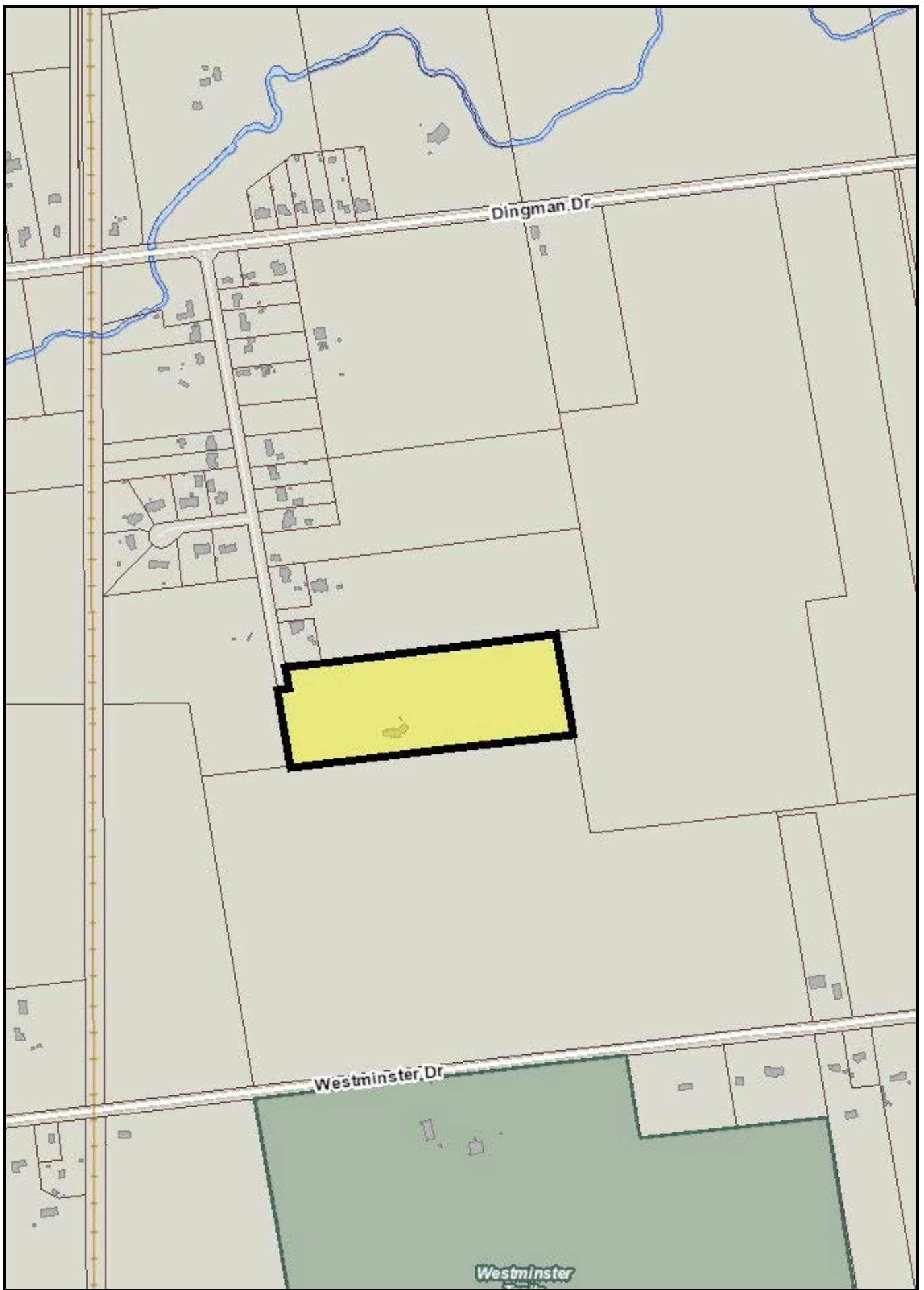
**Notice of Collection of Personal Information**

The personal information collected on this form is collected under the authority of the Municipal Act, 2001, S.O. 2001, c. 25 and the Planning Act R.S.O. 1990, c. P.13, s.44 and will be used to consider applications for minor variances, permissions, and consents. The written submissions, including names and contact

information will form part of the public record and will be made available to the public. Questions about this collection should be addressed to Adam Salton, Manager, Zoning and Public Property Compliance, Development & Compliance Services at 300 Dufferin Ave., London, ON N6A 4L9. Tel: 519-661-2489, ext. 4998, email:asalton@london.ca

A handwritten signature in cursive script that reads "Mark Smith".






Mark Smith, Secretary - Treasurer  
London Committee of Adjustment  
The Corporation of the City of London  
Phone: 519-661-CITY (2489) ext. 7019  
masmith@london.ca, www.london.ca



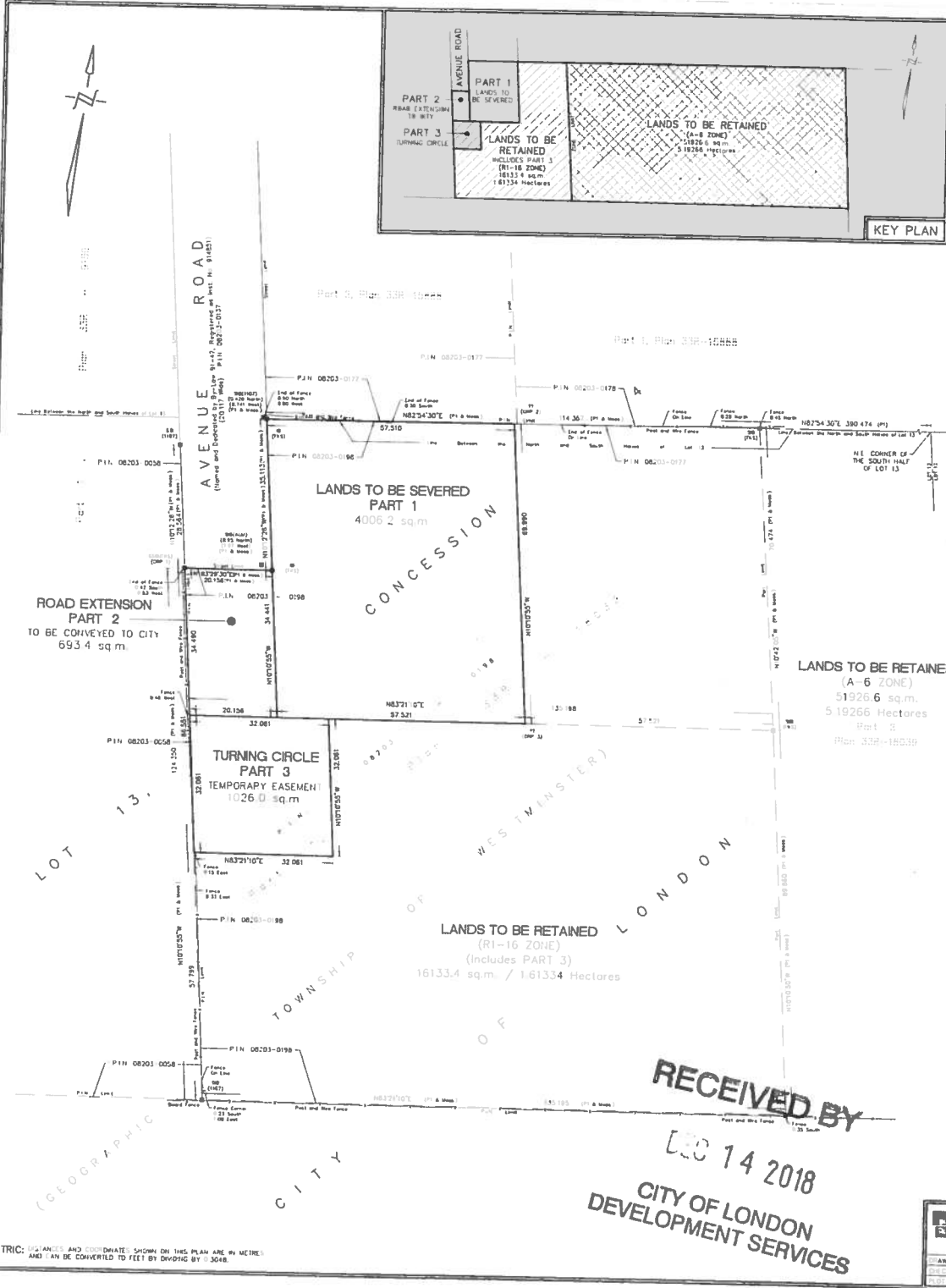
### Location Map

Subject Property: 4730 Avenue Road  
 Applicant:  
 File Number: A.158/18  
 Created By: Sandra Fisher  
 Date: 1/7/2019  
 Scale: 1:8000

### Legend

-  Subject Property
-  Parks
-  Assessment Parcels
-  Buildings
-  Address Numbers





REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT		<b>PLAN 33R-</b>	
DATE _____		RECEIVED AND DEPOSITED _____	
ROBERT WOOD ONTARIO LAND SURVEYOR		REPRESENTATIVE FOR THE LAND REGISTRAR FOR THE LAND TITLES DIVISION OF MIDDLESEX (No. 33)	
PART	LOT	CONCESSION	P.I.N.
1	Part of Lot 13	Concession 4	Part of P.I.N. 08203-0198
2	Part of Lot 13	Concession 4	Part of P.I.N. 08203-0198
3	Part of Lot 13	Concession 4	Part of P.I.N. 08203-0198
Parts 1, 2 and 3 -- Corner Part of P.I.N. 08203-0198			

**PLAN OF SURVEY**  
OF PART OF  
**LOT 13, CONCESSION 4**  
(GEOGRAPHIC TOWNSHIP OF WESTMINSTER)  
IN THE  
**CITY OF LONDON**  
COUNTY OF MIDDLESEX  
SCALE 1:500  
M 0 10 20 30 40  
SCALE IN METRES  
2018  
**ARCHIBALD, GRAY & MCKAY LTD.**  
ONTARIO LAND SURVEYORS

**UTM GRID NOTES**  
COORDINATES ARE UTM GRID BY NAD83 (ORIGINAL) DERIVED FROM GPS OBSERVATIONS USING THE CANADIAN NATIONAL TRIPLET NETWORK (CNM) REFERRED TO THE GENERAL MERIDIAN 8100° WEST LONGITUDE, ZONE 17  
LINEAR VALUES SHOWN ON THIS PLAN ARE ADJUSTED GROUND LEVEL DISTANCES AND CAN BE CONVERTED TO HORIZONTAL DISTANCES BY MULTIPLYING BY A CORRECTION SCALE FACTOR OF 0.9996177

POINT ID	NORTHING	EASTING
DRP 1	4750752.437	484447.407
DRP 2	4750796.349	484510.255
DRP 3	4750727.492	484530.823

COORDINATES ADJUSTED BY TRIANGULATION  
BE USED TO RE-ESTABLISH CORNER OR BOUNDARIES ON THIS PLAN.

**NOTES AND LEGEND**  
 ■ DENOTES SURVEY MONUMENT FOUND  
 ○ DENOTES SURVEY MONUMENT SET  
 SB DENOTES STANDARD IRON BARR  
 SSB DENOTES SHORT STANDARD IRON BARR  
 IB DENOTES IRON BARR  
 AGM DENOTES ARCHIBALD, GRAY & MCKAY, O.L.S.'S  
 F&S DENOTES FLEMING, SMITH & PARKER, O.L.S.'S  
 CD DENOTES CALLOW, DEER, O.L.S.'S  
 HBY DENOTES HOWARD BAYTON OBSID, O.L.S.  
 P1 DENOTES PLAN 33R-18D3R

STATISTICS	RESOLUTIONAL R1-16 ZONE
LOT AREA	4008.2 sq.m.
LOT FRONTAGE	57.521 m.
LOT DEPTH	69.890 m.
FRONT YARD SETBACK	N/A
REAR YARD SETBACK	N/A
SIDEYARD SETBACK	N/A
LANDSCAPED AREA	85%
LOT COVERAGE	20%
HEIGHT	N/A
PARKING COVERAGE	15%

**SURVEYOR'S CERTIFICATE**  
 I CERTIFY THAT:  
 1) THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATING MAPS UNDER THEM.  
 2) THE SURVEY WAS COMPLETED ON THE 9 DAY OF 1, 2018

**RECEIVED BY**  
**DEC 14 2018**  
**CITY OF LONDON**  
**DEVELOPMENT SERVICES**

**AGM** ARCHIBALD, GRAY & MCKAY LTD.  
 3814 WHITE OAK ROAD, LONDON, ON, N6G 2Z9  
 PHONE 519-885-6000 FAX 519-885-1000  
 EMAIL: info@agm.on.ca WEB: www.agm.on.ca

PLAN = SURVEY = ENGINEER  
 DRAWN BY: JDM  
 CHECKED BY: D.C.C.  
 PLOT DATE: NOV 5 2018  
 PLOT TIME: 11:00 AM  
 PLOT FILE: WT-1309-018  
 PLOT WT: 1309-018  
 PLAN NO: 4-Z 927

METRIC: DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 3048