



300 Dufferin Avenue
P.O. Box 5035
London, ON
N6A 4L9

August 23, 2019

**LONDON COMMITTEE OF ADJUSTMENT
SUBMISSION NO. A.091/19**

NOTICE OF PUBLIC HEARING UNDER SECTION 45(1) OF THE PLANNING ACT, R.S.O 1990

OWNER:

Raj Rhea Group of Companies Inc.
406 Bristol Road West
Mississauga, ON L5R 2J6

WARD: 11

LOCATION: 201 Wellington Street, PLAN NIL PT LOT 1 S/S SIMCOE, on the west side of Wellington Street, south of Simcoe Street.

PURPOSE: To permit the existing parking.

VARIANCES REQUESTED:

1. To permit zero (0) parking spaces for all uses permitted under the current zone for the existing building.

ZONING:

Business District Commercial
(BDC(4))

OFFICIAL PLAN:

Main Street Commercial Corridor
(MSCC)

THE LONDON PLAN:

Rapid Transit Corridor

WHEN & WHERE:

The Applicant and/or Authorized Agent shall attend this Hearing on Monday September 16, 2019, at 3:00pm, Second Floor, City Hall to respond to any inquiries raised by members of the Committee or by the public. As the applicant, if you do not attend or are not represented at this hearing, the Committee may proceed to render a decision in your absence.

For members of the public, if you do not attend or are not represented at this hearing, the Committee may proceed and you will not be entitled to any further notice of the proceedings.

This is a Public Hearing and if you are aware of any person interested or affected by this application, who has not received a copy of this Notice, it would be appreciated if you would so inform them.

NOTE:

COMMITTEE IS REQUIRED UNDER PROVISION OF THE PLANNING ACT OF ONTARIO, TO GIVE NOTICE OF THIS APPLICATION TO ALL ASSESSED PROPERTY OWNERS OF LAND LYING WITHIN 60 METRES (200 FEET) OF THE SUBJECT LAND.

Written comments may be submitted to the Secretary - Treasurer prior to the hearing, and all personal information and comments will become part of the public record.

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE LONDON COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE SECRETARY - TREASURER. This will also entitle you to be advised of a possible Local Planning Appeal Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the London Committee of Adjustment decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the public.

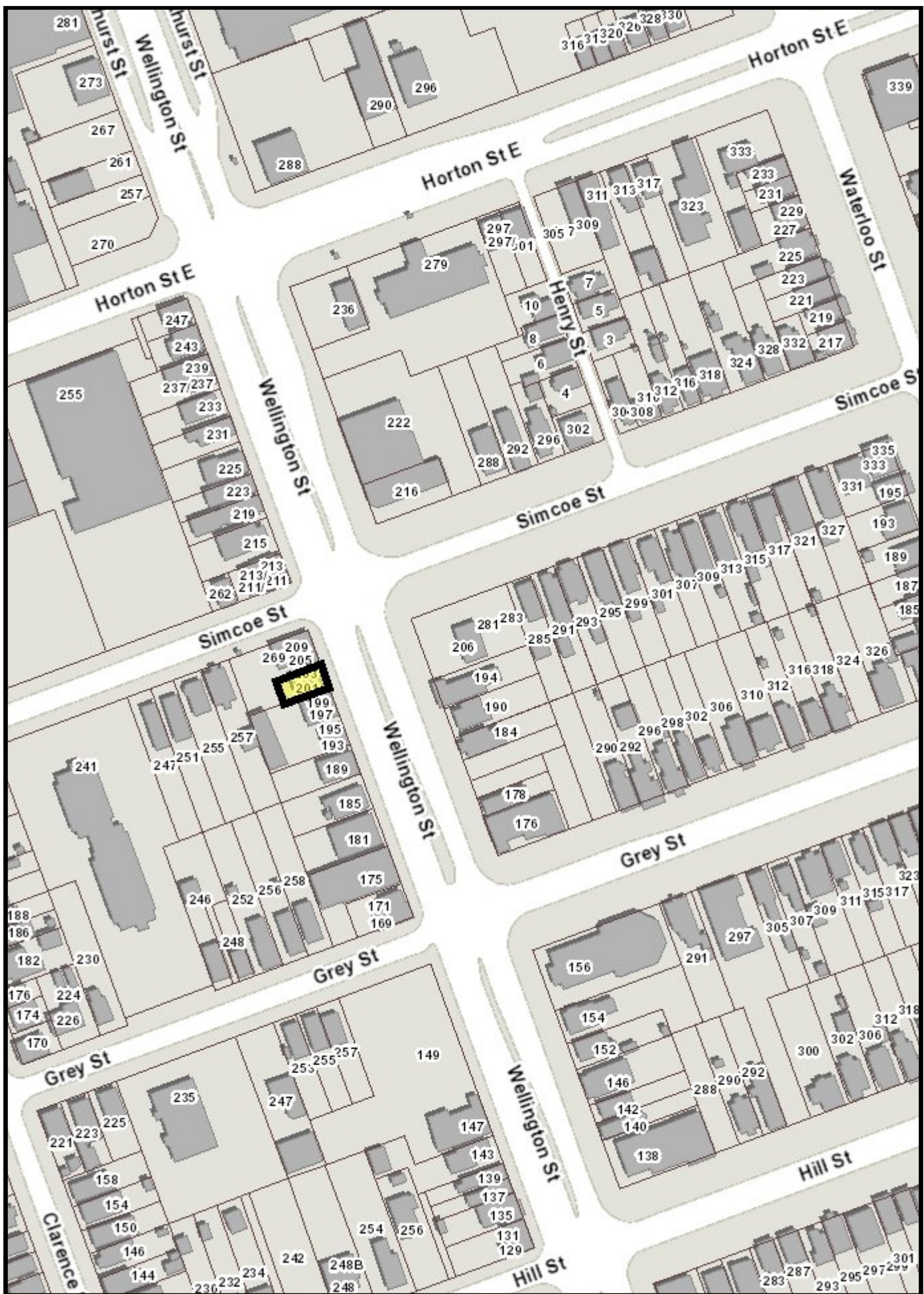
Notice of Collection of Personal Information

The personal information collected on this form is collected under the authority of the Municipal Act, 2001, S.O. 2001, c. 25 and the Planning Act R.S.O. 1990, c. P.13, s.44 and will be used to consider applications for minor variances, permissions, and consents. The written submissions, including names and contact information will form part of the public record and will be made available to the public. Questions about this collection should be addressed to Adam Salton, Manager, Zoning and Public Property Compliance,

Development & Compliance Services at 300 Dufferin Ave., London, ON N6A 4L9. Tel: 519-661-2489, ext. 4998, email:asalton@london.ca

A handwritten signature in black ink that reads "Mark Smith". The signature is written in a cursive, flowing style.






Mark Smith, Secretary - Treasurer
London Committee of Adjustment
The Corporation of the City of London
Phone: 519-661-CITY (2489) ext. 7019
masmith@london.ca, www.london.ca



Location Map

Subject Property: 201 Wellington Street
 Applicant: RAJ RHEA GROUP OF COMPANIES INC.
 File Number: A.091/19
 Created By: Maggie Gallant
 Date: 8/14/2019
 Scale: 1:2000

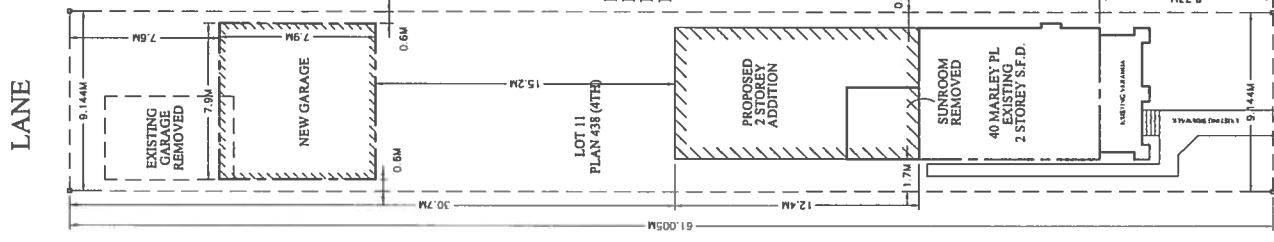
Legend

-  Subject Property
-  Parks
-  Assessment Parcels
-  Buildings
-  Address Numbers



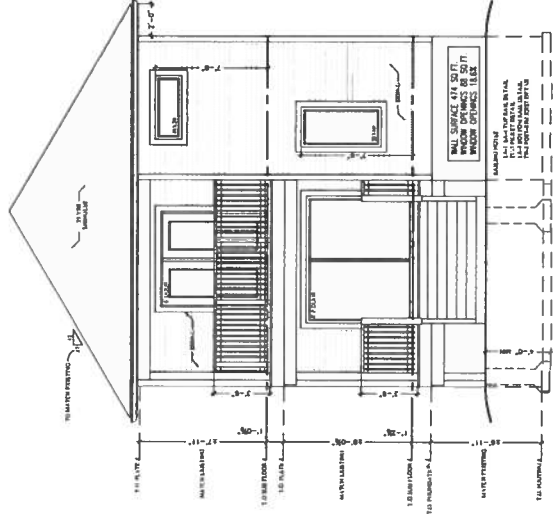
SITE PLAN

Scale 3/32" - 1'-0"



NORTH ELEVATION

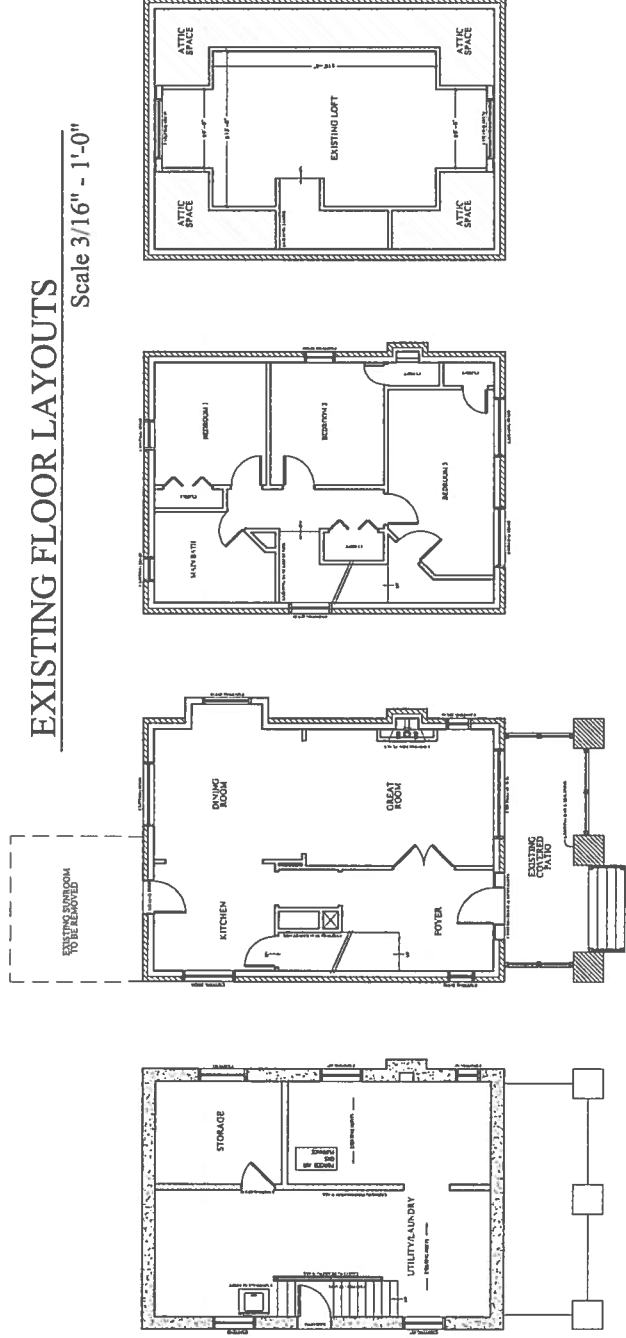
Scale 1/4" - 1'-0"



SOUTH ELEVATION TO
REMAIN UNTOUCHED

EXISTING FLOOR LAYOUTS

Scale 3/16" - 1'-0"



- GENERAL NOTES:**
- FOUNDATION NOTES:
 - FOUNDATIONS TO EXISTING FOUNDATION WALLS
 - ALL EXISTING FOUNDATION WALLS TO REMAIN UNLESS OTHERWISE SPECIFIED
 - UNDESIRABLE SOILS, UNDESIRABLE BEARING CAPACITY, OR UNDESIRABLE WATER TABLE SHALL BE REMOVED BY THE CONTRACTOR
 - ALL EXTERIOR SOFTINGS SHALL BE A MINIMUM OF 2" BELOW FINISHED GRADE TO PROTECT FOUNDATION
 - ALL EXTERIOR SOFTINGS SHALL BE A MINIMUM OF 2" ABOVE FINISHED GRADE TO PROTECT FOUNDATION
 - MINIMUM 2" COVER AT BOTTOM OF SOIL

1. The owner shall be responsible for the site conditions and shall provide all necessary information to the architect at the time of the site visit.

REV.	DATE	DESCRIPTION
1		ISSUED FOR PERMIT
2		
3		
4		



FLOOR	AREA
MAIN FLOOR ADDITION	79.90 SQ FT
UPPER FLOOR ADDITION	79.90 SQ FT



*PROPERTY OF VIEW-IT DESIGN

VIEW-IT DESIGN
RITA B. GAVWELL
ARCHITECTURE
1000 SHEPPARD AVE. E. SUITE 100
SCARBOROUGH, ONT. M1B 3Y4

DAILY RESIDENCE
40 MARLEY PLACE
LONDON, ONT

PROPOSED RENOV/ADDITION
ELEVATIONS/SITE PLAN

DRAWN BY: TONY WALL
BCR: P500 FOR 0126
DATE: JULY 2019
SHEET NO. 1 OF 4

SCALE: 3/32" = 1'-0"

A3