



300 Dufferin Avenue
P.O. Box 5035
London, ON
N6A 4L9

August 23, 2019

**LONDON COMMITTEE OF ADJUSTMENT
SUBMISSION NO.A.089/19**

NOTICE OF PUBLIC HEARING UNDER SECTION 45(1) OF THE PLANNING ACT, R.S.O 1990

OWNER:

Winchur Christopher & Bud, Winchur Stephanie
742 Elias Street
London, ON N5W 3N7

WARD: 4

LOCATION: 742 Elias Street, PLAN 378 PT LOT 10 W/S, on the north side of Elias Street, west of English Street.

PURPOSE: To construct an unenclosed porch.

VARIANCES REQUESTED:

1. To permit an unenclosed porch with an exterior side yard setback of 0.28m (0.92ft), whereas 1.5m (5ft) is the minimum required.

ZONING:

Residential R3 (R3-2)

OFFICIAL PLAN:

Low Density Residential

THE LONDON PLAN:

Neighbourhoods

WHEN & WHERE:

The Applicant and/or Authorized Agent shall attend this Hearing on Monday September 16, 2019, at 2:40 p.m. Second Floor, City Hall to respond to any inquiries raised by members of the Committee or by the public. **As the applicant**, if you do not attend or are not represented at this hearing, the Committee may proceed to render a decision in your absence.

For members of the public, if you do not attend or are not represented at this hearing, the Committee may proceed and you will not be entitled to any further notice of the proceedings.

This is a Public Hearing and if you are aware of any person interested or affected by this application, who has not received a copy of this Notice, it would be appreciated if you would so inform them.

NOTE:

COMMITTEE IS REQUIRED UNDER PROVISION OF THE PLANNING ACT OF ONTARIO, TO GIVE NOTICE OF THIS APPLICATION TO ALL ASSESSED PROPERTY OWNERS OF LAND LYING WITHIN 60 METRES (200 FEET) OF THE SUBJECT LAND.

Written comments may be submitted to the Secretary - Treasurer prior to the hearing, and all personal information and comments will become part of the public record.

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE LONDON COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE SECRETARY - TREASURER. This will also entitle you to be advised of a possible Local Planning Appeal Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the London Committee of Adjustment decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the public.

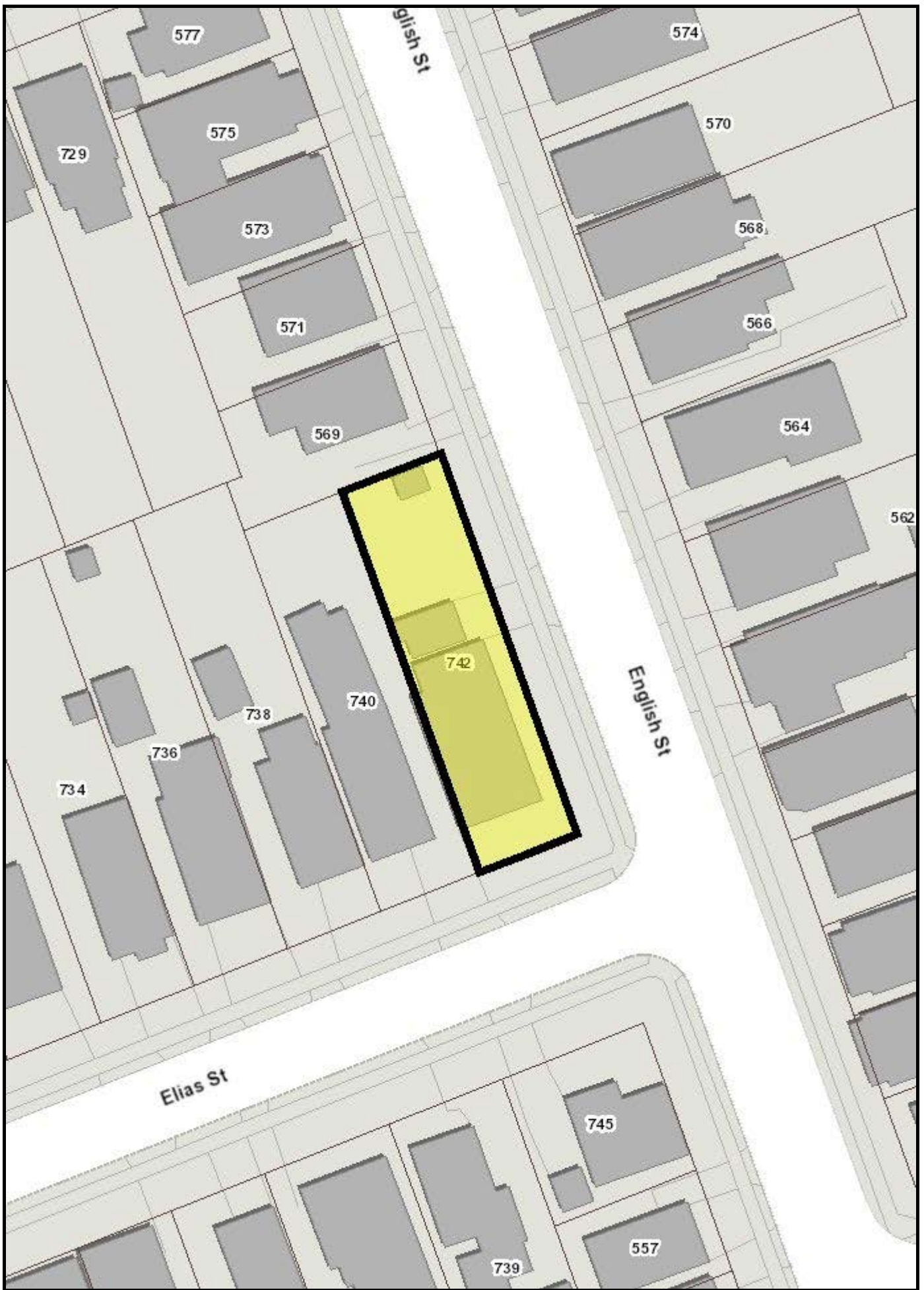
Notice of Collection of Personal Information

The personal information collected on this form is collected under the authority of the Municipal Act, 2001, S.O. 2001, c. 25 and the Planning Act R.S.O. 1990, c. P.13, s.44 and will be used to consider applications for minor variances, permissions, and consents. The written submissions, including names and contact information will form part of the public record and will be made available to the public. Questions about this collection should be addressed to Adam Salton, Manager, Zoning and Public Property Compliance,

Development & Compliance Services at 300 Dufferin Ave., London, ON N6A 4L9. Tel: 519-661-2489, ext. 4998, email: asalton@london.ca.

A handwritten signature in cursive script that reads "Mark Smith".






Mark Smith, Secretary - Treasurer
London Committee of Adjustment
The Corporation of the City of London
Phone: 519-661-CITY (2489) ext. 7019
masmith@london.ca, www.london.ca



Location Map

Subject Property: 742 Elias Street
 Applicant: Winchur Christopher & Bud, Winchur Stephanie
 File Number: A.089/19
 Created By: Sandra Fisher
 Date: 8/14/2019
 Scale: 1:500

Legend

-  Subject Property
-  Parks
-  Assessment Parcels
-  Buildings
-  Address Numbers



GENERAL NOTES:
 DRAWING PREPARED IN ACCORDANCE WITH OBC PART 9 - 2012 EDITION
 DURASIN DRAFTING & DESIGN IS REFERRED TO AS THE DESIGNER
 THIS DRAWING IS AN INSTRUMENT OF SERVICE. ALL THE INFORMATION ON THIS DRAWING IS THE PROPERTY OF THE DESIGNER.
 THE CONTRACTOR IS TO SITE VERIFY ALL DIMENSIONS. ANY DISCREPANCY SHALL BE REPORTED BACK TO DURASIN DRAFTING & DESIGN.
 DURASIN DRAFTING & DESIGN IS NOT RESPONSIBLE FOR THE ACCURACY OF THE SURVEY, MECHANICAL, ELECTRICAL, ETC. THIS DRAWING IS TO BE REVIEWED BY THE APPROPRIATE CONSULTANT AS REQUIRED.
 THE CONTRACTOR MUST TAKE RESPONSIBILITY FOR THE CONDITION OF THE EXISTING STRUCTURE WHEN ATTACHING NEW STRUCTURES TO EXISTING ONES.
 IF THE EXISTING STRUCTURE IS NOT SUITABLE FOR THE DESIGN CHANGES MUST BE MADE TO THE DESIGN OF THE EXISTING STRUCTURE PRIOR TO THE WORK BEING PERFORMED.
 THE DESIGNER OR APPROPRIATE CONSULTANT PRIOR TO THE WORK BEING PERFORMED. FURTHER IT MUST BE INCLUDED ON THE DRAWINGS AND APPROVED BY THE MUNICIPALITY WHERE THE WORK IS CARRIED OUT.
 CONCRETE AS PER SECTION 9.1.2.6 & 9.1.2.7 OF THE OBC
 - COMPRESSIVE STRENGTH (CONCRETE) AFTER 28 DAYS SHALL NOT BE LESS THAN 32MPa (C-2 EXPOSURE) SLAB ON GRADE CHANGE ELR. ALL EXT. FLAT WALKS SHALL BE FINISHED WITH TYPE F-2 INTERIOR FLOORS OTHER THAN CARPORTS SHALL BE FINISHED WITH TYPE F-2 INTERIOR FLOORS OTHER THAN CARPORTS

(b) BASEMENT SLAB AND SOCI EXPOSED FOUNDATIONS
 STEEL SHALL BE PLACED IN 10" FOUNDATIONS AS PER THE OBC
 - SPECIFIED LIVE LOAD ON ANY FLOOR SUPPORTED BY FOOTINGS SHALL NOT EXCEED 2.4 kPa (50psf) or IT SHALL BE DESIGNED UNDER SECTION 4.2 OF THE OBC 2012 EDITION

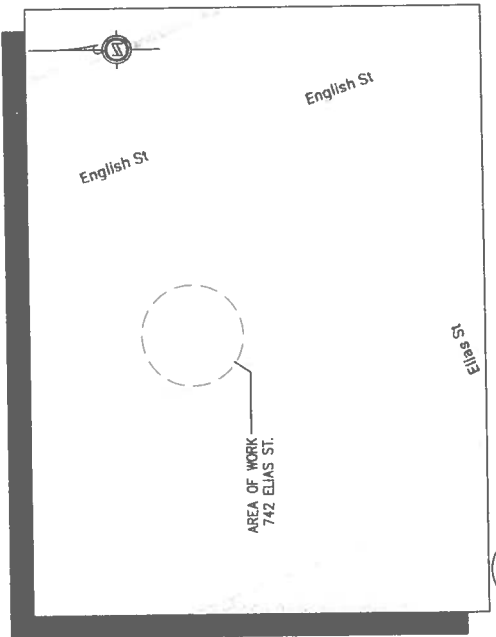
EXCAVATION
 - EXCAVATION SHALL BE UNDERTAKEN IN SUCH A MANNER AS TO PREVENT DAMAGE TO EXISTING STRUCTURES ADJACENT TO THE PROPERTY AND UTILITIES/DRIVE TOP SOLE AND OTHER UTILITIES PER 9.12.1.1
 - FROST SHALL BE PREVENTED AS PER 9.12.1.3
 - FOOTINGS TO BEAR ON UNDISTURBED ORIGINAL SOIL CAPABLE OF SUSTAINING 100 kPa (14.5 psf) OR MORE BEARING PRESSURE AS PER OBC 9.15.1 & 9.12.2.1
 - CONTRACTOR IS TO ENSURE 5-8% AIR ENTRAINMENT FOR ALL EXTERIOR CONCRETE THAT WILL BE EXPOSED TO FREEZE THAW CYCLE
 - DURING WINTER CONSTRUCTION, THE APPROPRIATE PROTECTION PROCEDURES ARE TO BE OBSERVED. CONCRETE ADMITTANCE TO BE CONFINED TO MINIMUM 98% S.P.M.I.D.D.
 - CONCRETE TOP SOIL ORGANIC MATTER WATER IN EXCAVATION.
 - FREEZING PROTECTION, DEPTH AND BACKFILL
 - FOOTINGS AND FOUNDATIONS ARE TO BE DONE AS PER O.B.C. 9.15
 - CONTRACTOR AND INSPECTOR SHALL INSURE THAT SOILS, SOIL DRAIN, ARE WELL DRAINED WITH NO CLAY OR SALT
 - IF TERMITES ARE KNOWN TO EXIST ALL STUMPS ROOTS AND WOOD DEBRIS SHALL BE REMOVED TO A MIN. 12" (300mm) IN EXCAVATED AREAS UNDER A BUILDING AND BE CLEARANCE BETWEEN UNTREATED WOOD STRUCTURAL ELEMENTS AND THE GROUND SHALL BE NO LESS THAN 1'-6" (450mm) OF FOUNDATION WALLS
 - BACKFILL WITHIN 24" (600mm) OF FOUNDATION WALLS SHALL BE FREE OF DELETERIOUS DEBRIS AND Boulders OVER 10" (250mm) DIA.

SITE NOTE:
 - LOCATION OF ALL UTILITIES SHALL BE VERIFIED PRIOR TO DIGGING OR COMMENCEMENT OF CONSTRUCTION
 - EXCAVATION SHALL BE AS PER OFFICIAL SURVEY. PLEASE SEE ATTACHED
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO PERFORM ALL NECESSARY WORKS TO ENSURE THAT NO SURFACE DRAINAGE PROBLEMS ARE CREATED ON ADJACENT PRIVATE OR PUBLIC LANDS BY REASON OF THIS DEVELOPMENT.
 - THE INTENT OF THE EXISTING DRAINAGE PATTERS IN THE AREA OF THE SITE SHOULD BE MAINTAINED, OR IF CHANGED SHALL BE DONE BY OTHERS AND IS NOT THE RESPONSIBILITY OF THE DESIGNER.

HOARDING
 HOARDING SHALL BE ERECTED TO THE HEIGHT OF 1.8m AROUND THE BUILDING SITE TO BE CONSTRUCTED WITHIN THE SITE AND SUCH HOARDING SHALL BE CONSTRUCTED OF 1.3mm EXT. GRADE PLYWOOD OR ANY EQUIVALENT MATERIAL AND BE MAINTAINED IN GOOD AND SOUND CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.
 NO HOARDING SHALL ENCRUCH ON TO TOWN-OWNED LAND UNLESS THERE IS WRITTEN PERMISSION GIVEN BY THE CITY ENGINEERS.

A SUITABLE AREA ON THE CONSTRUCTION SITE SHALL BE PROVIDED FOR THE PURPOSE OF LOADING AND UNLOADING MATERIALS FROM AND TO THE SITE AND SUCH AREA SHALL BE SURFACED WITH ASPHALT OR CONCRETE OR OTHER EQUIVALENT METHOD, SO AS TO PREVENT THE TRACKING OF DIRT ONTO PUBLIC ROADWAYS. NO MATERIAL OR EQUIPMENT SHALL BE STORED ON TOWN-OWNED PROPERTY, INCLUDING BOULEVARD EXTENDING FROM THE PAVED SURFACE TO THE PROPERTY LINES.
 A TOILET FACILITY SHALL BE PROVIDED ON THE CONSTRUCTION SITE IN A LOCATION FOR REMOVED FROM ADJACENT BUILDINGS AND THE STREET AS PRACTICAL, AND MAINTAINED ON A REGULAR BASIS SO AS NOT TO CAUSE OFFENSIVE ODORS.
 DEBRIS AND BUILDING MATERIALS SHALL BE CONTAINED OR STORED ON SITE IN AN ORDERLY MANNER. ALL LEED BUILDINGS SHALL HAVE ALL WASTE MATERIALS STORED SEPARATELY.
 STREETS AND ROADS ABUTTING TO THE CONSTRUCTION SITE SHALL BE SHEPT, SCOWED, FLUSHED OR OTHERWISE CLEANED AS REQUIRED SO AS TO REMOVE ALL EXCESS AND SOIL, DIRT AND ALL OTHER FOREIGN MATERIALS FROM SUCH STREETS AND ROADS.

THE APPLICANT WILL BE REQUIRED TO IMPLEMENT AND MONITOR ON-SITE SEDIMENT AND EROSION MEASURES DURING CONSTRUCTION OF THIS DEVELOPMENT. THE SEDIMENT AND EROSION CONTROLS SHALL MEET ONSITE CONSTRUCTION AND SEDIMENT CONTROL FOR URBAN SITES AS WELL AS DIRECTOR OF ENGINEERING OF THE LOCAL MUNICIPALITY AND OBC 2012.



1 KEY PLAN
 SPT SCALE : NOT TO SCALE

SITE NOTES & STATISTICS
 - SITE INFORMATION WAS GATHERED FROM GOOGLE, CITY OF LONDON MAPS & DIMS. BY OTHERS
 - ORIGINAL SURVEY WAS NOT AVAILABLE
 - FILE NO. N/A
 - THE PROPERTY IS IN THE CITY OF LONDON
 - THE NEW DEVELOPMENT IS A COVERED DECK IN THE FRONT YARD = 38FT²
 - SITE AREA = 44669 FT²
 - MAIN BUILDING FOOTPRINT = 21215 FT²
 - COVERAGE = 47.27%

DURASIN DRAFTING AND DESIGN IS NOT RESPONSIBLE FOR THE ACCURACY OF THE SURVEY. THERE IS NO SURVEY AVAILABLE.
 THE MEASUREMENTS ON THIS DRAWING ARE BASED ON SITE MEASUREMENTS TO ASSUMED PROPERTY LINES.
 - DO NOT SCALE OR COPY THIS DRAWING IN PART OR WHOLE.

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR CLIENT REVIEW	14/04/18	O.D.
2	ISSUED FOR PERMIT	07/07/18	O.D.
3			
4			
5			
6			

SCALE OFF:



THE CONTRACTOR MUST VERIFY AND TAKE RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE WORK. THIS DRAWING IS NOT TO BE USED FOR QUOTING PURPOSES, AND IS NOT TO BE REPRODUCED IN ANY WAY, PARTIAL OR WHOLE, WITHOUT THE WRITTEN CONSENT OF DURASIN DRAFTING & DESIGN. ANY CHANGES TO THIS DRAWING IS NOT TO BE SCALED OR COPIED OR MODIFIED.

DURASIN DRAFTING & DESIGN
 TOKALA TRAIL
 LONDON, ONTARIO
 L4L 1P8
 T: 416-491-7777
 F: 416-491-7778
 E-MAIL: DURASINDESIGN@GMAIL.COM

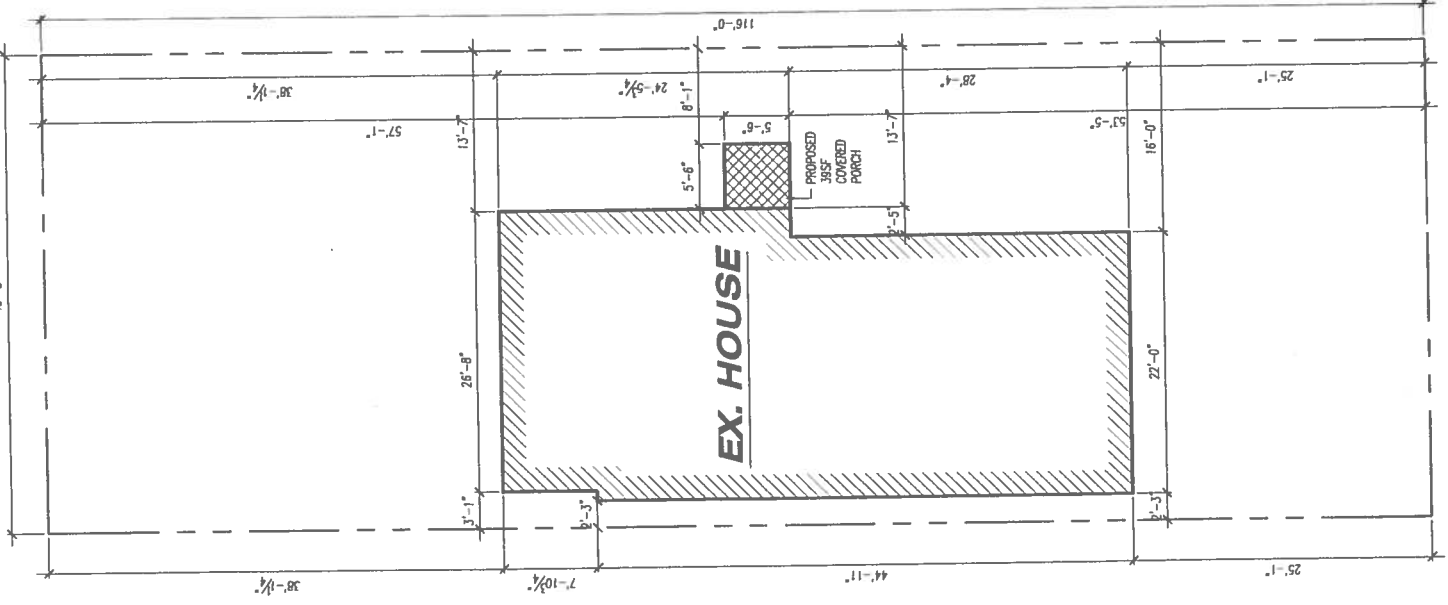
Project:
 COVERED DECK
 CHRIS WINCHUR
 742 ELIAS ST.
 LONDON ONTARIO

Drawing:
 SITE PLAN

Additional notes: drawings are not to be scaled. The contractor is to verify all dimensions and conditions on site. The contractor is responsible for the design and construction of the work. This drawing is not to be used for quoting purposes, and is not to be reproduced in any way, partial or whole, without the written consent of Durasin Drafting & Design. Any changes to this drawing is not to be scaled or copied or modified.



Drawn by:	O.D.	Date:	18-JUN-18
Checked by:	O.D.	Scale:	18-Sep-17
Project Number:	2018.041	Revision Number:	2018.041.001
Drawing Number:	SPT1		



2 SITE PLAN
 SPT SCALE : N.T.S.

1. A MIN. LIVE LOAD OF 1.9(kPa) SHALL BE APPLIED IN ALL LOCATIONS
2. THE PRESCRIBED SNOW LOAD FOR 225 SELECTED ONTARIO LOCATIONS IS INDICATED IN COL. 12 OF TBL. 1.2 IN SUPPLEMENTARY GUIDELINE SB-1 OF THE OBC 2012. THE SNOW LOAD SHALL BE APPLIED AS THE MIN. LIVE LOAD WHERE IT IS GREATER THAN 1.9(kPa)
3. A SITE PLAN OR SURVEY IS REQUIRED SHOWING ALL LOT LINES & DIMS. SIZE & LOCATION OF ALL EX. BLD. & DECK
4. LUMBER NO. 2 SPF OR BETTER W/0 POSTS MIN. 4x4 (SOLID) USE CORROSION RESISTANT SPIRAL NAILS OR SCREWS
5. A DECK SHALL NEVER BE SUPPORTED OR FASTENED TO BRICK VENEER
6. CANTILEVERED JOISTS AND BEAMS ARE LIMITED TO 1/4 OF THE MEMBERS
7. JOISTS SHALL BEAR ON UNDISTURBED SOIL THE BEARING CAPACITY OF THE SOIL SHALL BE MIN. 100kPa & SHALL BE DETERMINED BY CONTRACTOR OR BUILDING OFFICIAL PRIOR TO CONSTRUCTION. DURASIN DRAFTING & DESIGN IS NOT RESPONSIBLE FOR CHECKING SOIL BEARING CAPACITY.
8. MAX. HT. REFERS TO THE HT. OF THE POST FROM THE TOP OF THE DECK SURFACE.
9. BEAMS W/ MORE THAN 2 MEMBERS MUST BE SUPPORTED BY MIN. 5/8 POSTS.
10. THE LUMBER TABLE IS AT OR NEAR THE BOTTOM OF THE FOOTING EXC. IT IS THE CONTRACTOR'S OR OWNERS RESPONSIBILITY TO CONTACT THE LOCAL BUILDING DEPARTMENT FOR INFORMATION ABOUT LOCAL SOIL BEARING CAPACITIES.
12. JOISTS SPANNING MORE THAN 6'10" ARE TO HAVE BRIDGING AT 6'10" O.C. MIN. UNLESS OTHERWISE DIRECTED BY THE DESIGNER
13. WHERE JOISTS SPAN MORE THAN 8'10", EVERY OTHER JOIST SHALL BE DOUBLED.
14. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT NEW CONCRETE FOUNDATIONS DO NOT BEAR ON EX. WRECKING JETTS OR CONCR. FOOTINGS
15. ALL DIMENSIONS TO BE VERIFIED BY THE CONTRACTOR FOR ACCURACY. DISCREPANCIES SHALL BE REPORTED TO THE DESIGNER.
16. ANY DISCREPANCIES TO STRUCTURAL ELEMENTS MUST BE REPORTED TO DESIGNER IMMEDIATELY.
17. ENSURE ALL INSPECTIONS ARE ARRANGED AND CARRIED OUT.
18. PLANS REFLECT GENERAL INTENT AND STRUCTURAL MEMBERS REQUIRED. CONTRACTOR MAY ADJUST TO SUIT FOR ARCHITECTURAL CHANGES

ANCHORAGE OF THIS STRUCTURE IS TO COMPLY WITH 8.21.6.2 OF THE OBC
 -ALL THE FASTENERS: BOLTS, METAL NAILS, CONNECTIONS AND SHEET METAL SHALL BE IN CONTACT WITH PRESSURE TREATED WOOD SHALL BE COMPATIBLE WITH THE CHEMICALS USED IN THE LUMBER IN THE PRESSURE TREATED LUMBER USED FOR THIS PROJECT
 -PRESSURE TREATED LUMBER USED TO PROTECT ALL THE SADDLERS AND MUST TAKE NECESSARY PRECAUTIONS TO PROTECT ALL THE SADDLERS USED: i.e. METAL NAILS, BOLTS, CONNECTIONS AND SHEET METAL
 -REFER TO SB-7 AND EB-3 OF THE OBC FOR DETAIL INFORMATION ON DETAILS AND CONNECTIONS.

FOR MORE INFORMATION SEE OMA BULLETIN:
 PRESSURE TREATED WOOD ALERT.
 AVAILABLE AT WWW.OMAWCA.CA
 CSA BEST PRACTICE GUIDE

NO.	REVISION	DATE	PKR
1	ISSUED FOR CLIENT REVIEW	JUL/16/18	O.D.
2	ISSUED FOR PERMIT	AUG/27/18	O.D.
3	ISSUED FOR REV. BOARD DET.	OCT/15/18	O.D.
4	ISSUED FOR PERMIT	JUL/29/18	O.D.
5			
6			

DESIGN OFF:
 I am undersigned has reviewed and takes responsibility for the design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION - Registered unless design is exempt under 1.2.4.1 of Div. 1 of the OBC

OLIVER DURASIN
 Name: Oliver Durasin
 Signature: [Signature]
 Title: BCN
 Stamp: 2018Z

QUALIFICATION INFORMATION - Registered unless design is exempt under 1.2.4.1 of Div. 1 of the OBC

OLIVER DURASIN
 Name: Oliver Durasin
 Signature: [Signature]
 Title: BCN
 Stamp: 2018Z

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DURASIN DRAFTING & DESIGN
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COVERED DECK
 CHRIS WINCHUR
 742 ELIAS ST
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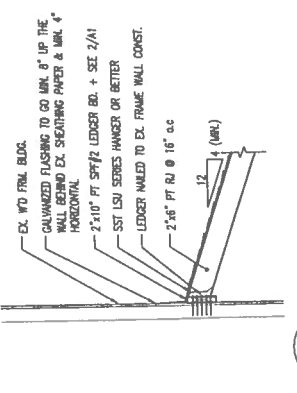
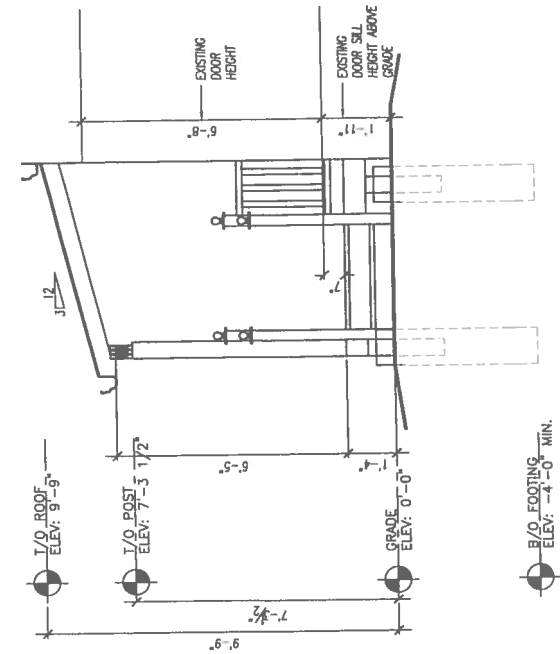
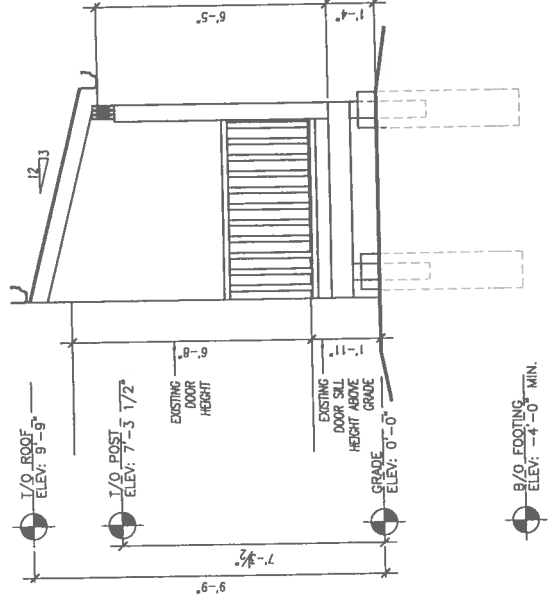
Project: [Blank]
 Drawing: [Blank]

PLANS

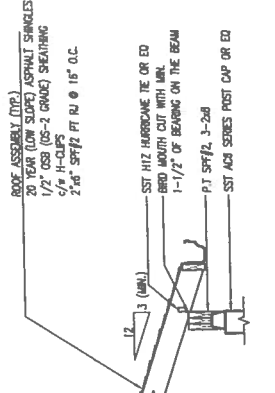
Plans, schedules, drawings, graphic representations, reports and specifications prepared by or on behalf of the designer are the property of the designer and shall remain the property of the designer. The designer shall retain the right to use the drawings and specifications for the design of other projects. The client may retain copies of drawings and specifications for their own use, but they shall not be used for any other purpose without the written consent of the designer. The drawings and specifications are prepared for the design of the project and shall not be used for any other purpose without the written consent of the designer. The drawings and specifications are prepared for the design of the project and shall not be used for any other purpose without the written consent of the designer.



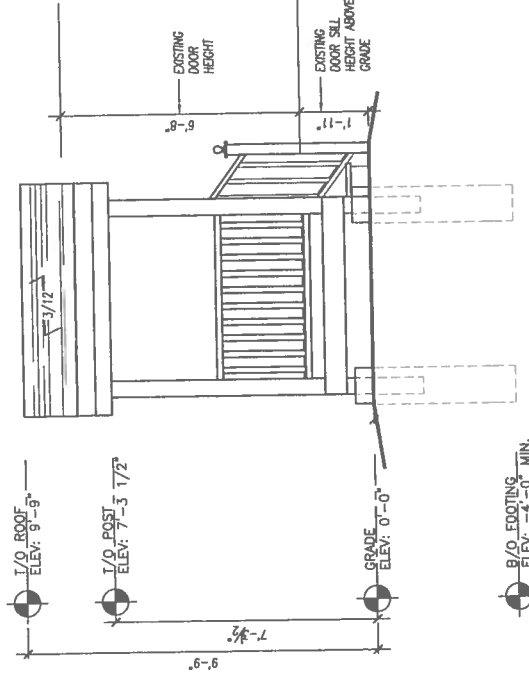
Drawn By:	O.D.	Date:	19-JUN-18
Checked By:	O.D.	Permit:	10-Sep-17
Project Number:	2018.041	Stamp:	
Scale:	2018 043.D02	Drawing Number:	A2



4 ROOF SECT. @ HOUSE
 SCALE: 1/2" = 1'
 A2



5 ROOF SECT. @ BEAM (LOW)
 SCALE: 1/2" = 1'
 A2



2 EAST ELEVATION
 SCALE: 3/8" = 1'
 A2