



300 Dufferin Avenue  
P.O. Box 5035  
London, ON  
N6A 4L9

May 24, 2019

**LONDON COMMITTEE OF ADJUSTMENT  
SUBMISSION NO. A.142/18**

**NOTICE OF PUBLIC HEARING UNDER SECTION 45(1) OF THE PLANNING ACT, R.S.O 1990.**

**OWNER:**

Colleen Goodhand  
1645 Hamilton Road  
London ON N6M 1G5

**AGENT:**

Sifton Properties Limited  
1295 Riverbend Road Suite 300  
London ON N6A 4M8

**WARD:** 14

**LOCATION:** 1645 Hamilton Road, CON 1 PT LOT 8 RP 33R16879 PARTS 4 5 7 8 AND 11, on the west side of Hamilton Road, north of Commissioners Road East.

**PURPOSE:** To permit reduced lot area as a result of a consent (B.050/18).

**VARIANCES REQUESTED:**

Severed Parcel:

1. To permit a lot area of 6.614 ha whereas 40 ha is the required minimum.

Retained Parcel:

1. To permit a lot area of 1.635 ha whereas 40 ha is the required minimum.

**ZONING:**

Urban Reserve (UR4)  
Open Space (OS4)  
h-2

**OFFICIAL PLAN:**

Low Density Residential  
Open Space

**THE LONDON PLAN:**

Neighbourhoods  
Green Space

**WHEN & WHERE:**

**The Applicant and/or Authorized Agent shall attend this Hearing on Monday June 17, 2019, at 2:20pm**, Second Floor, City Hall to respond to any inquiries raised by members of the Committee or by the public. **As the applicant**, if you do not attend or are not represented at this hearing, the Committee may proceed to render a decision in your absence.

**For members of the public**, if you do not attend or are not represented at this hearing, the Committee may proceed and you will not be entitled to any further notice of the proceedings.

This is a Public Hearing and if you are aware of any person interested or affected by this application, who has not received a copy of this Notice, it would be appreciated if you would so inform them.

**NOTE:**

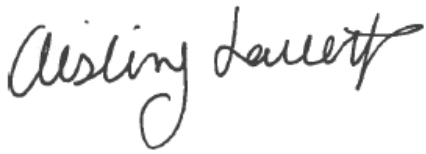
**COMMITTEE IS REQUIRED UNDER PROVISION OF THE PLANNING ACT OF ONTARIO, TO GIVE NOTICE OF THIS APPLICATION TO ALL ASSESSED PROPERTY OWNERS OF LAND LYING WITHIN 60 METRES (200 FEET) OF THE SUBJECT LAND.**

Written comments may be submitted to the Secretary - Treasurer prior to the hearing, and all personal information and comments will become part of the public record.

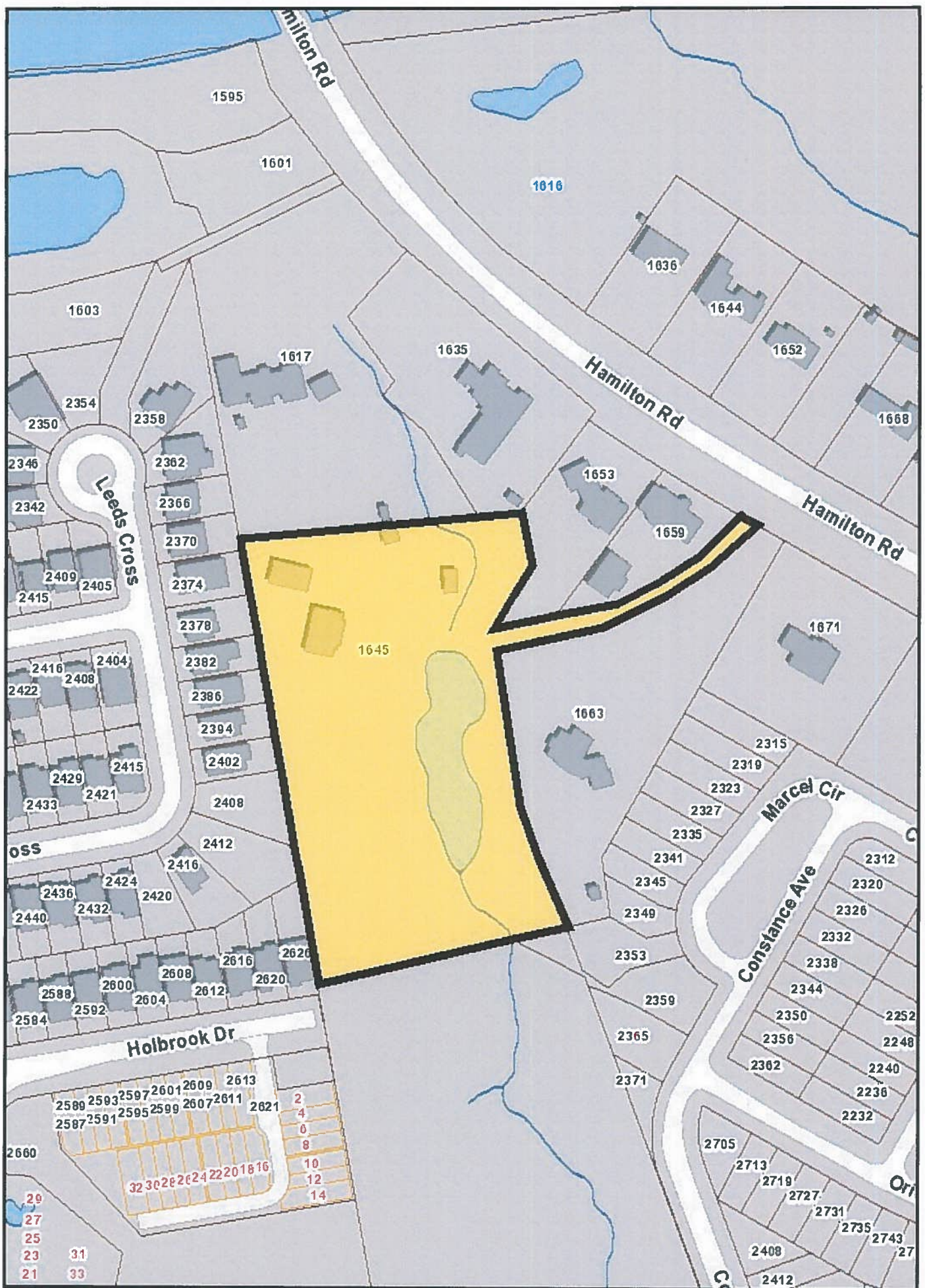
**IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE LONDON COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE SECRETARY - TREASURER.** This will also entitle you to be advised of a possible Local Planning Appeal Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the London Committee of Adjustment decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the public.

**Notice of Collection of Personal Information**

The personal information collected on this form is collected under the authority of the Municipal Act, 2001, S.O. 2001, c. 25 and the Planning Act R.S.O. 1990, c. P.13, s.44 and will be used to consider applications for minor variances, permissions, and consents. The written submissions, including names and contact information will form part of the public record and will be made available to the public. Questions about this collection should be addressed to Adam Salton, Manager, Zoning and Public Property Compliance, Development & Compliance Services at 300 Dufferin Ave., London, ON N6A 4L9. Tel: 519-661-2489, ext. 4998, email: [asalton@london.ca](mailto:asalton@london.ca).

A handwritten signature in black ink that reads "Aisling Lavery". The signature is written in a cursive, flowing style.

Aisling Lavery, Secretary - Treasurer  
London Committee of Adjustment  
The Corporation of the City of London  
Phone: 519-661-CITY (2489) ext. 4988  
[alavery@london.ca](mailto:alavery@london.ca), [www.london.ca](http://www.london.ca)



### Location Map

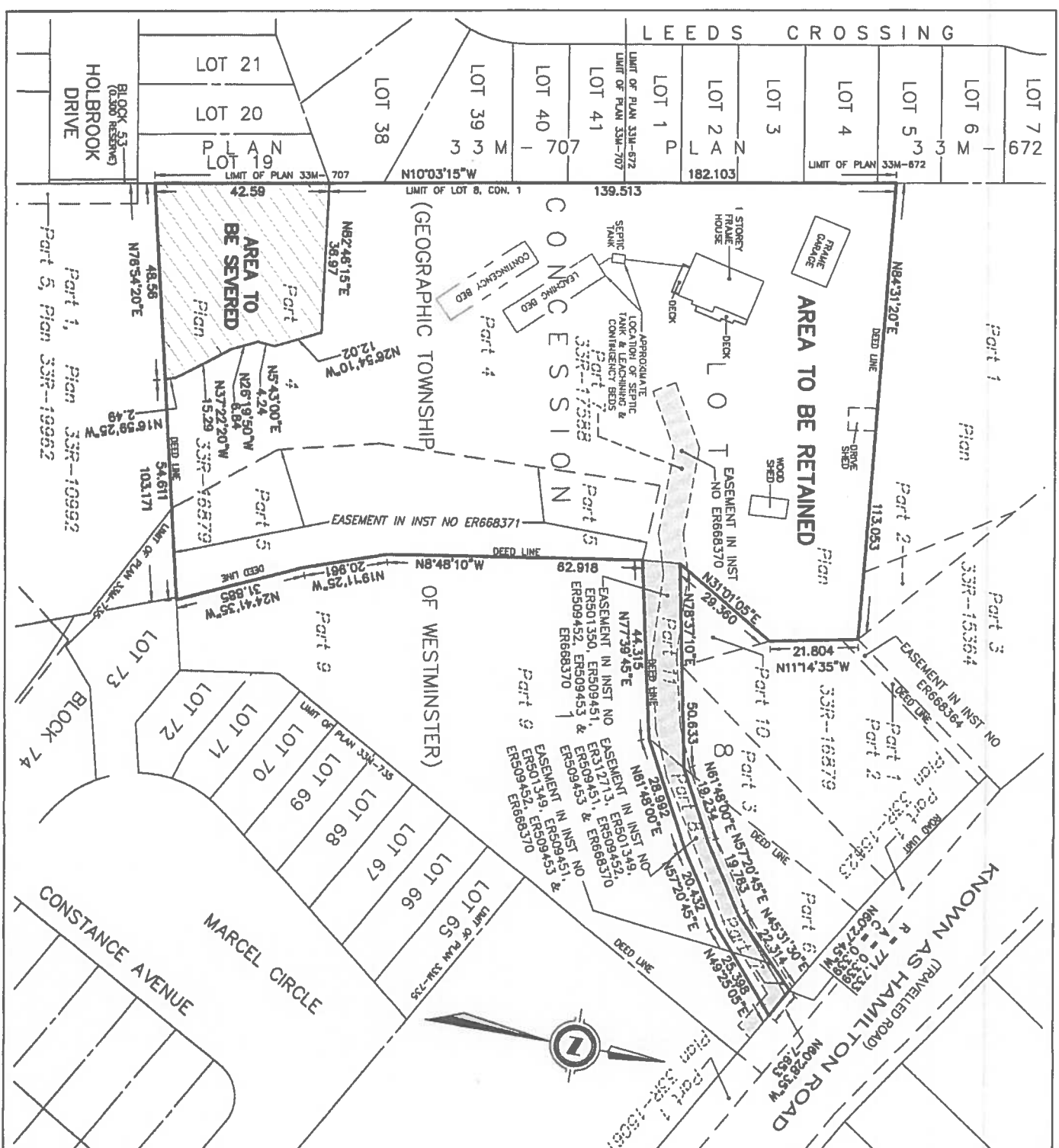
Subject Property: 1645 Hamilton Road  
 Applicant: SIFTON PROPERTIES LIMITED  
 File Number: A.142/18  
 Created By: Sandra Fisher  
 Date: 5/21/2019  
 Scale: 1:2000

### Legend

- Subject Property
- Parks
- Assessment Parcels
- Buildings
- 123 Address Numbers



A. 142/18



\* Revised 5/6/2019 \*

**PART OF LOT 8 CONCESSION 1**  
 (GEOGRAPHIC TOWNSHIP OF WESTMINSTER)  
 IN THE CITY OF LONDON  
 COUNTY OF MIDDLESEX

SCALE 1:1000

20 15 10 5 0 20 40 60  
 SCALE IN METRES

2018  
 ARCHIBALD, GRAY & MCKAY LTD.  
 ONTARIO LAND SURVEYORS

**LEGEND:**

- TO BE SEVERED AREA = 0.169 Ha.
- TO BE RETAINED AREA = 1.635 Ha.
- TOTAL SITE AREA = 1.804 Ha.

□ DENOTES PLAN 33R-17588 (NOT ALL PARTS LABELLED)

**METRIC:** DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

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**ARCHIBALD, GRAY & MCKAY LTD.**  
 3514 WHITE OAK ROAD, LONDON, ON, N6E 2Z9  
 PHONE 519-685-5300 FAX 519-685-5303  
 EMAIL info@agm.on.ca WEB www.agm.on.ca

DRAWN BY: CRC/Norton	PLAN DRAWN: AUG 15, 2018	CLIENT: SUTTON PROPERTIES LIMITED
CHECKED BY: DDC	FILE NO: WT-01-08-26	
DATE: Nov 27, 2018		