



300 Dufferin Avenue
P.O. Box 5035
London, ON
N6A 4L9

May 24, 2019

**LONDON COMMITTEE OF ADJUSTMENT
SUBMISSION NO. A.060/19**

NOTICE OF PUBLIC HEARING UNDER SECTION 45(1) OF THE PLANNING ACT, R.S.O 1990.

OWNER:

Darlene Smith
1183 South Wenige Drive
London ON N5X 4MJ

AGENT:

Joe Delmage
1183 South Wenige Drive
London ON N5X 4MJ

WARD: 5

LOCATION: 687 Fanshawe Park Road East, PLAN 781 LOT 14, on the south side of Fanshawe Park Road East, east of Fremont Avenue.

PURPOSE: To construct an addition.

VARIANCES REQUESTED:

1. To permit a front yard setback of 16.6m (54.5'), whereas a minimum of 22.3m (73') is required.
2. To permit an east interior side yard setback of 0.9m (3.0'), whereas a minimum of 1.2m (3.9') is required.

ZONING:

Residential (R1-9)

OFFICIAL PLAN:

Low Density Residential

THE LONDON PLAN:

Neighbourhoods

WHEN & WHERE:

The Applicant and/or Authorized Agent shall attend this Hearing on Monday June 17, 2019, at 2:40pm, Second Floor, City Hall to respond to any inquiries raised by members of the Committee or by the public. As the applicant, if you do not attend or are not represented at this hearing, the Committee may proceed to render a decision in your absence.

For members of the public, if you do not attend or are not represented at this hearing, the Committee may proceed and you will not be entitled to any further notice of the proceedings.

This is a Public Hearing and if you are aware of any person interested or affected by this application, who has not received a copy of this Notice, it would be appreciated if you would so inform them.

NOTE:

COMMITTEE IS REQUIRED UNDER PROVISION OF THE PLANNING ACT OF ONTARIO, TO GIVE NOTICE OF THIS APPLICATION TO ALL ASSESSED PROPERTY OWNERS OF LAND LYING WITHIN 60 METRES (200 FEET) OF THE SUBJECT LAND.

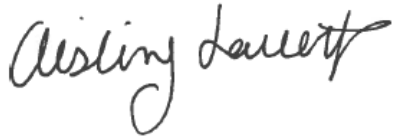
Written comments may be submitted to the Secretary - Treasurer prior to the hearing, and all personal information and comments will become part of the public record.

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE LONDON COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE SECRETARY - TREASURER. This will also entitle you to be advised of a possible Local Planning Appeal Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the London Committee of Adjustment decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the public.

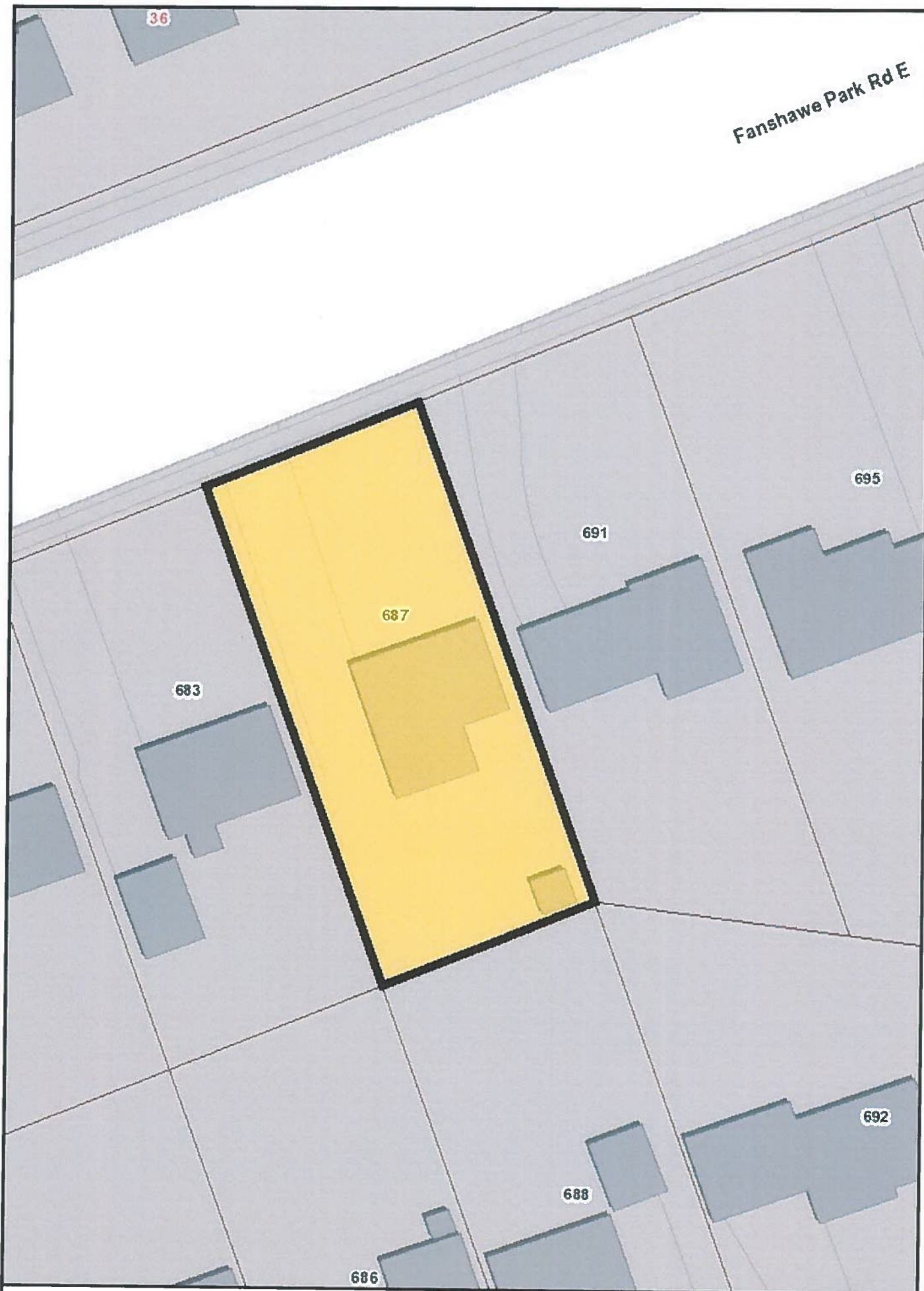
Notice of Collection of Personal Information

The personal information collected on this form is collected under the authority of the Municipal Act, 2001, S.O. 2001, c. 25 and the Planning Act R.S.O. 1990, c. P.13, s.44 and will be used to consider applications for minor variances, permissions, and consents. The written submissions, including names and contact information will form part of the public record and will be made available to the public. Questions about

this collection should be addressed to Adam Salton, Manager, Zoning and Public Property Compliance, Development & Compliance Services at 300 Dufferin Ave., London, ON N6A 4L9. Tel: 519-661-2489, ext. 4998, email: asalton@london.ca.

A handwritten signature in black ink that reads "Aisling Lavery". The signature is written in a cursive, flowing style.






Aisling Lavery, Secretary - Treasurer
London Committee of Adjustment
The Corporation of the City of London
Phone: 519-661-CITY (2489) ext. 4988
alavery@london.ca, www.london.ca



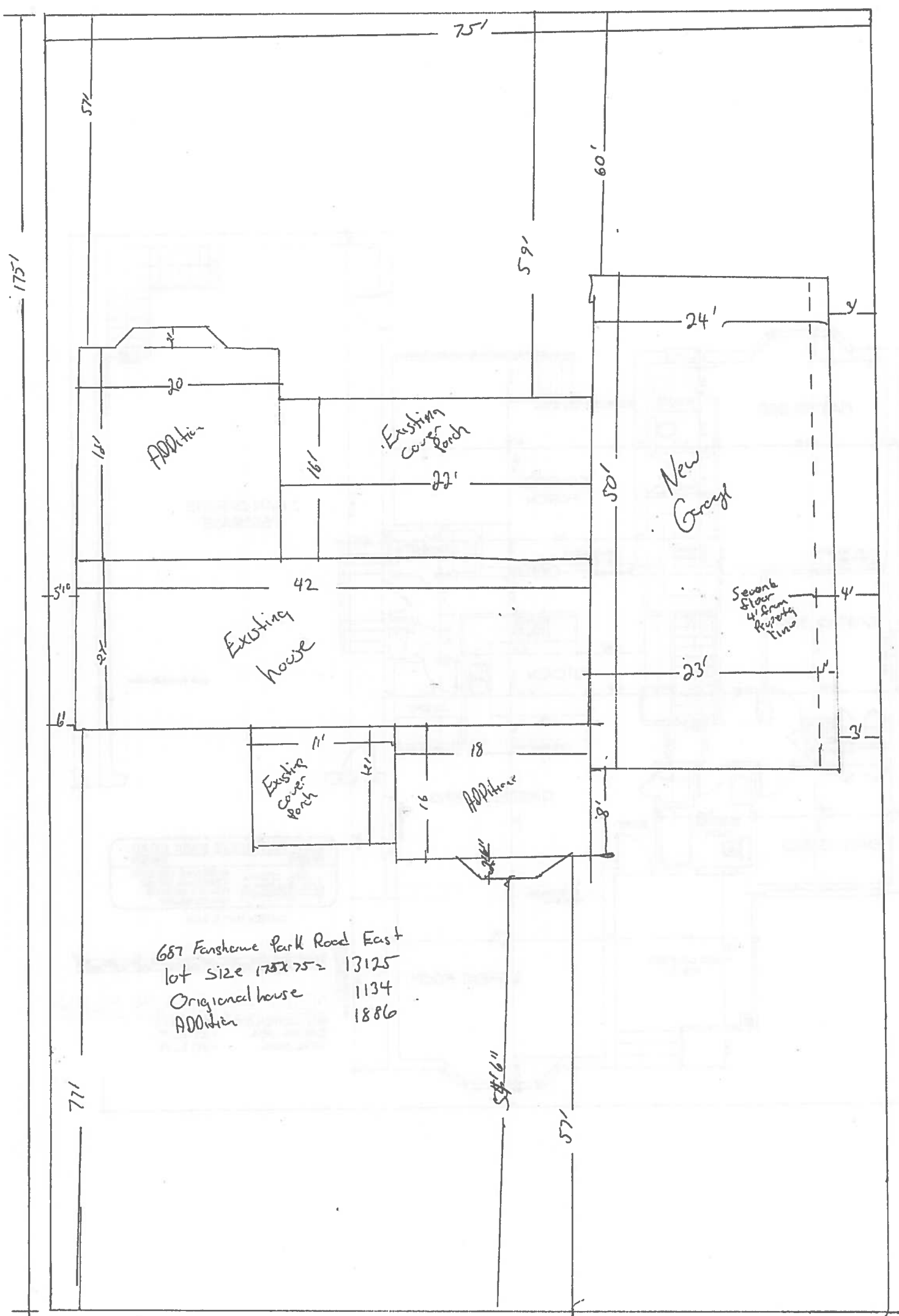
Location Map

Subject Property: 687 Fanshawe Park Road E
 Applicant: Joe Delage
 File Number: A.060/19
 Created By: Sandra Fisher
 Date: 5/15/2019
 Scale: 1:500

Legend

-  Subject Property
-  Parks
-  Assessment Parcels
-  Buildings
-  Address Numbers



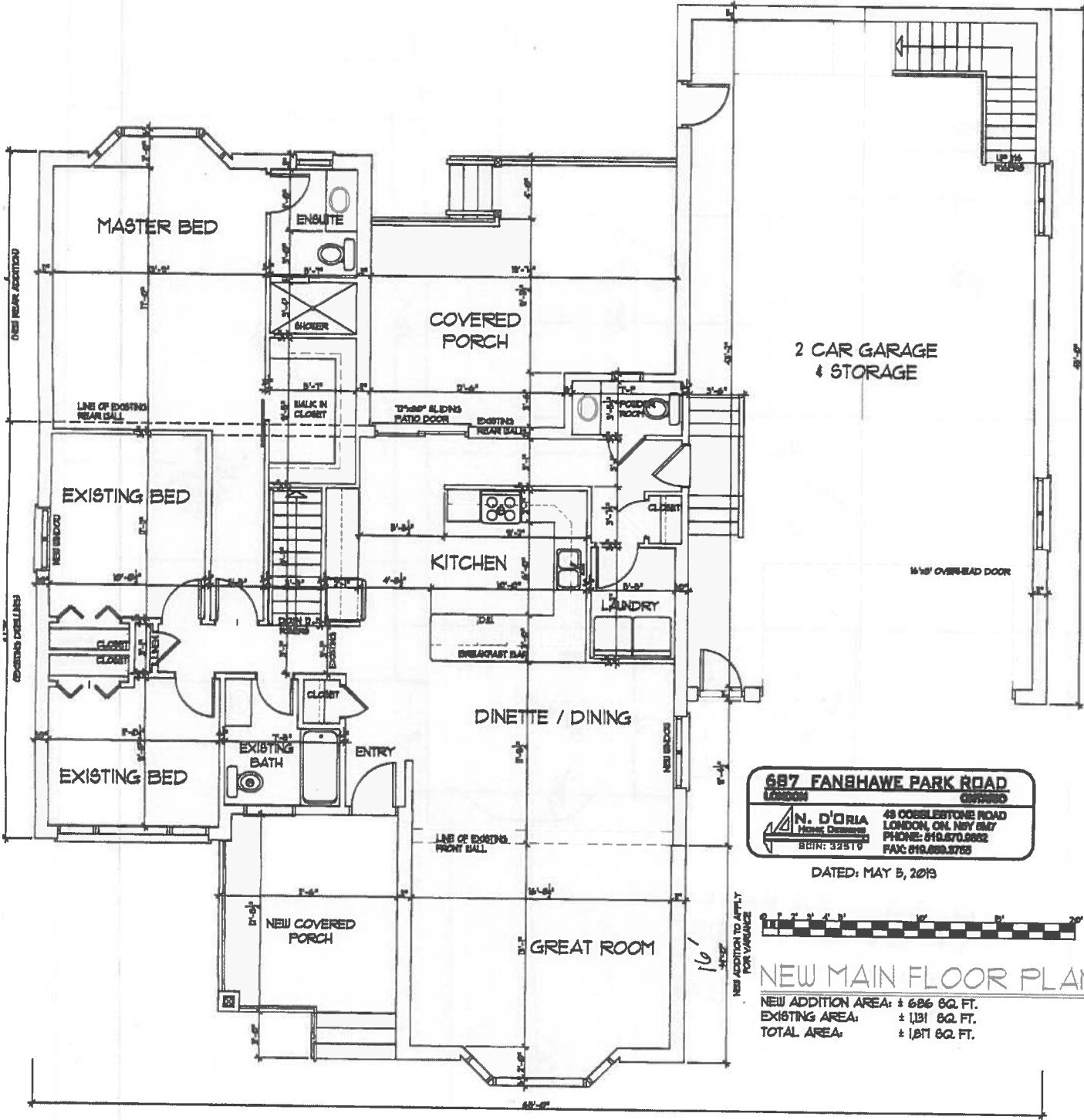


687 Fanshawe Park Road East
 lot size 175x75 = 13125
 Original house 1134
 Addition 1886

77'

57' 6"

57'



687 FANHAWE PARK ROAD
 LONDON ONTARIO
 N. D'ORLA
 Home Designer
 48 COBBLESTONE ROAD
 LONDON, ONT. N6Y 6M7
 PHONE: 519.870.8882
 FAX: 519.888.3763
 BCIN: 32519

DATED: MAY 8, 2013



NEW MAIN FLOOR PLAN

NEW ADDITION AREA: ± 686 SQ. FT.
 EXISTING AREA: ± 1,131 SQ. FT.
 TOTAL AREA: ± 1,817 SQ. FT.

NEW ADDITION TO APPLY FOR VARIANCE

